

Downtown Hope Revitalization Plan

A collection of community ideas to guide the activation and revitalization of the Hope Town Square. The Plan is an adaptable, living document that responds to changing conditions. It establishes strategies and ideas that can be incrementally pursued as opportunities develop over time.



Historic Streetscape, Main Street, Hope, Indiana, c.1918

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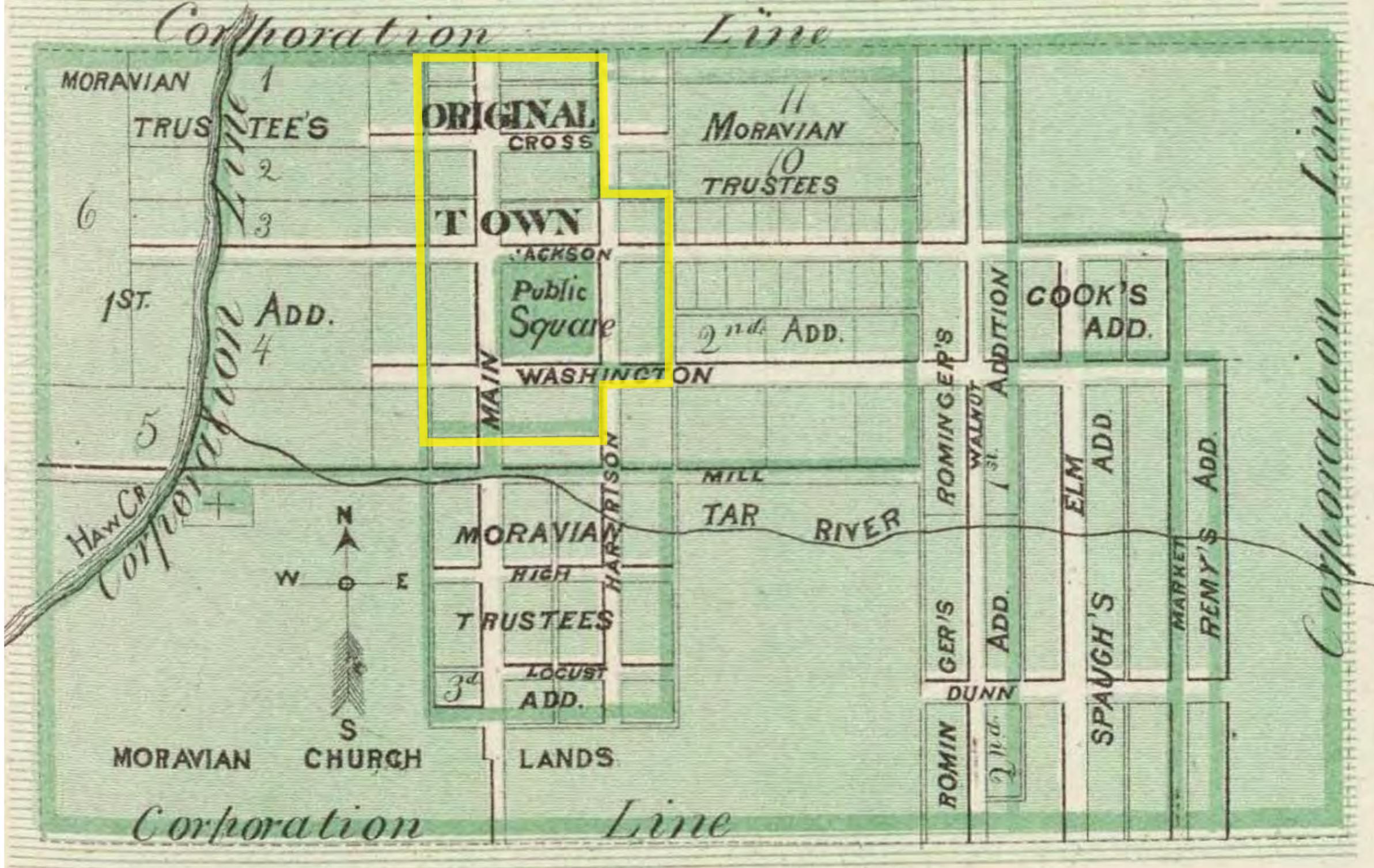
Prepared for
Town of Hope, Indiana

FINAL 08/09/17



Prepared by
Storrow Kinsella Associates *in collaboration with*
Louis Joyner Architect

PLAN OF
HOPE.
Bartholomew Co.



1876 map of Hope, Indiana. Source, Town of Hope website: <http://townofhope.org/about-hope/> also found at <http://www.mapsofthepast.com/greensburg-indiana-bask-forest-co-1876.html>
The yellow highlight indicates the original town plat.

ACKNOWLEDGEMENTS

Main Street of Hope Board of Directors

Dr. Greg Sweet, President
Ashley Norman Lloyd, Vice-President
Tabatha Tallent, Secretary
Pete Law, Treasurer

Main Street of Hope Executive Director

Susan Thayer Fye

Main Street Committee

Diane Burton, Ex Officio, Town of Hope
JT Doane, Ex Officio, Town of Hope
Trena Carter, Ex Officio, Administrative Resources Assoc.
Larry Kleinhenz, Ex Officio, Bartholomew County Commissioner
Chris Ogle, Ex Officio, Bartholomew County Council
Andrea Deutsch, Ex Officio, OCRA
Chuck Baker, Design Committee
Jessica Brown, Design Committee
Trina Newton, Design Committee
Russell Burton, Economic Revitalization
David Clouse, Economic Revitalization, Hope Utilities
Michael Dean, Economic Revitalization
Vicki Gardner, Economic Revitalization
Spencer Gross, Economic Revitalization
Tom Miller, Economic Revitalization
Janelle Gernentz, Organization Committee
Diane Jekel, Organization Committee
Barb Johnson, Promotion Committee
Suzie Norman, Committee Member
Ken Patton, Committee Member
Matt Tallent, Committee Member
Vickie Tedder, Committee Member
Janice Whittington, Committee Member
Jean Marr Wilkins, Committee Member
Seth Baute, Committee Member

Consultant Team

Storrow Kinsella Associates *in collaboration with*
Louis Joyner Architect

Town Council

Clyde Compton, President, At-Large
Edward Johnson, Vice-President, Ward 1
Nellie Meek, Ward 2
Ohmer Miller, Ward 3
Jerry Bragg, At-Large

Town Manager

JT Doane

Clerk-Treasurer

Diane Burton

Focus Groups and Meetings

Infrastructure Focus Group

David Clouse, JT Doane, Diane Burton

Downtown District Events Focus Group

Susan Thayer Fye, Randy Sims, Chelsea Kendall,
Barb Johnson, Susan Dodd, Dave Miller, JT Doane

Building Facade Character and Potential

Vickie Tedder, John Robertson, Chuck Baker, Jake Miller, Susan Thayer Fye

Downtown Land Use

Mike Deckard, Suzie Norman (invited), Janice Whittington, Mark Cornett (invited), Susan Thayer Fye

Cultural and Heritage Focus Group

Seth Baute, Barb Johnson, Michael Dean, Deb Slone, Susan Thayer Fye

Transportation Focus Group

Laura Thayer, Columbus MPO
Danny Hollander, Bartholomew County Engineer
Jim Ude, INDOT
Abby Mantsch, INDOT

Individual Topical Meetings

Jessica Brown; NAPA Building tour
Clyde Compton; Proposed Town Hall, Town of Hope
Barb Johnson; Yellow Trail Museum Building Tour
Ken Patton; Accents Building Tour
Janice Whittington; Masonic Temple Tour
Randy Wood; Old Fire Station Tour
Jeff Yarnell and Chelsea Kendall; Community Center of Hope Tour and Jackson Street vacant lot discussion
Randy Sims; Hope Heritage Days, meeting to review Heritage Days infrastructure needs, parade route, and the Hope/Hartsville Bicycle Tour Loop

A Special Thanks

A special thanks to everyone who contributed their great ideas, input, and constructive feedback at every step in the process.

Historic Photos

We are grateful for permission to use historic photos provided by the *Yellow Trail Museum* and from the book "*Hope, Indiana Sesquicentennial 1830 - 1980*"

Support

The Hope Downtown Revitalization Plan is funded by a Community Development Block Grant, Planning Grant administered by the Indiana Office of Community and Rural Affairs (OCRA)

Summary of the Plan

i Introduction, plan organization, strategies for revitalization and summary of implementation strategies

INTRODUCTION AND PLAN ORGANIZATION

The Town of Hope recognized the opportunity to activate investment in their downtown and create an improved future for their residents and businesses with funding assistance from a planning grant administered by the Indiana Office of Community & Rural Affairs (OCRA).

The Plan's recommendations are a combination of policy, programs and capital investment. Successful revitalization is continuous but incremental, and should adapt to opportunities and constraints that are difficult to predict and control over the life of the plan. Therefore the recommendations and choices presented in the plan are expected to be periodically adjusted and fine-tuned as they move forward into implementation.

The report is in seven sections that reflect the planning and design process:

Chapter 1 establishes the purpose, context and process of the plan.

Chapter 2 identifies themes and their associated revitalization strategies.

Chapter 3 summarizes Hope's heritage and values and aligns them with plan recommendations.

Chapter 4 proposes investments in the Hope Town Square to enhance its function as a community gathering place.

Chapter 5 outlines the public space safety, walkability and streetscape choices for revitalization.

Chapter 6 presents design guidelines for existing buildings on the Town Square, new construction, adaptive reuse, and site improvements.

Chapter 7 develops implementation and investment strategies for consideration.

A separate **Appendix** includes meeting notes documenting the public engagement process and INDOT data provided during the planning period.

STRATEGIES FOR REVITALIZATION

Achieving revitalization that is sustainable and appropriate for Hope is based on guiding principles and their objectives. They can be summarized as follows:

ii Vision Plan Map of Considerations for the Main Street of Hope District

- 1 Celebrate Hope's heritage and values
- 2 Focus on the Town Square to make it more effective and sustainable
- 3 Invest in district safety, connectivity, and streetscape enhancement
- 4 Repopulate downtown with residents and employers, and increase the number of visitors.

SUMMARY OF IMPLEMENTATION RECOMMENDATIONS

The list of potential implementation projects, programs, or policies is flexible and should be evaluated each year based on potential benefit vs. long-range sustainability. They are not prioritized except for time frames indicated below.

Near Term Considerations (2018 - 2021)

- Hope Culture and Heritage Program Support
- Hope Town Square and Jackson Frontage on Town Square Streetscape Infrastructure Project
- Zoning Ordinance Changes and Historic Resource Overlay District
- Main Street District Lighting System
- Request for Proposal package for development of vacant Jackson Street lot
- Scoping for SR 9/Main Street Front Door Infrastructure Funding

Mid Term Considerations (2021 - 2024)

- Incentives for Private Property Investment
- Job training and business incubator in the Main Street district.
- Shelterhouse renovation, Bandstand roof replacement and additional Town Square amenities

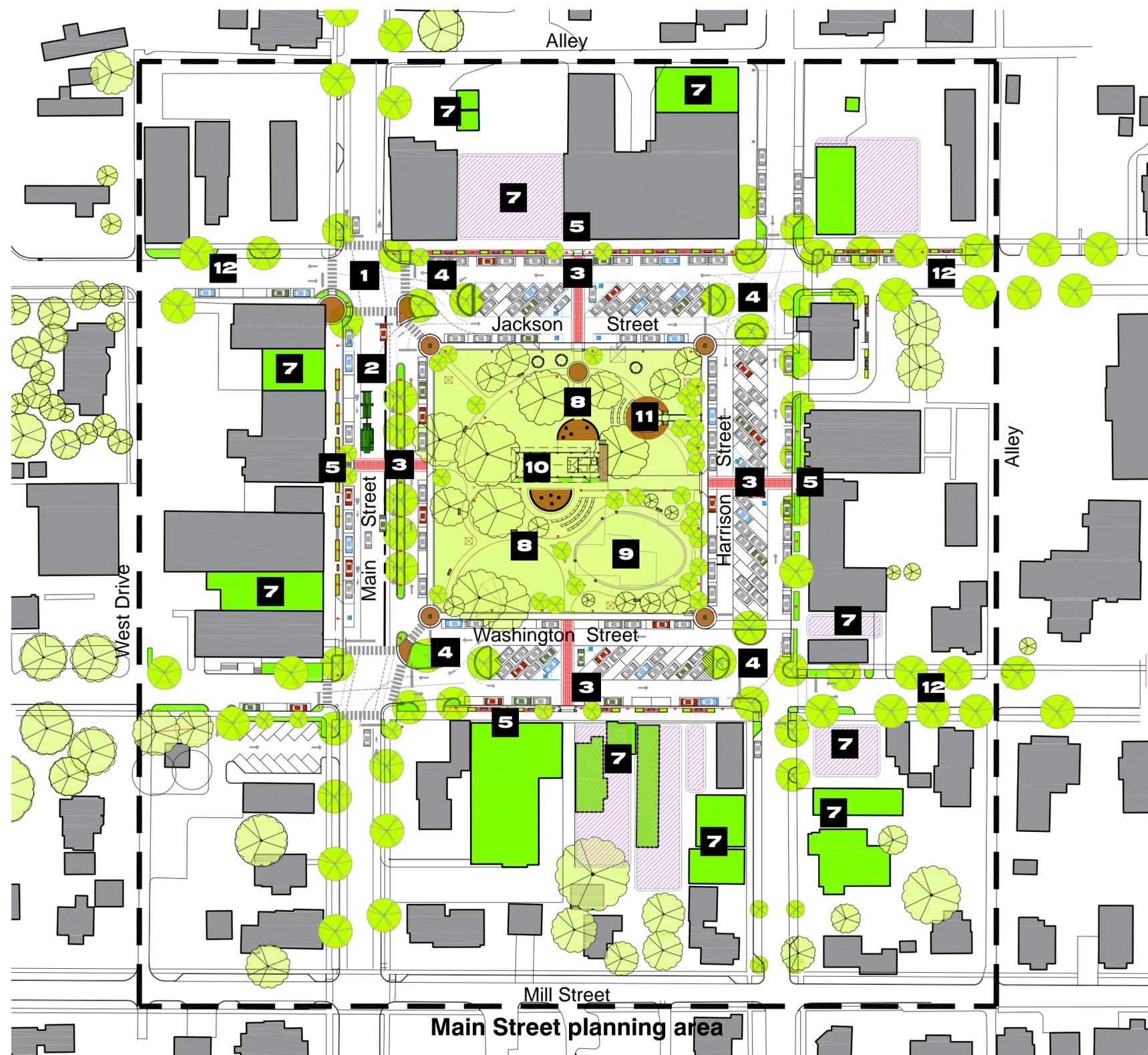
Long Term Considerations (2024 - 2027)

- SR 9/Main Street Front Door Infrastructure Project Implementation
- Washington & Harrison Frontages on Town Square Streetscape Infrastructure Project
- Main Street District Transition Blocks Streetscape Infrastructure Project
- Urban Forest Maintenance and Sustainability

ELEMENTS OF A NEW VISION FOR THE MAIN STREET DISTRICT

A collection of community ideas to guide the activation and revitalization of the Hope Town Square. The plan is an adaptable, living document that responds to changing conditions. It establishes strategies and ideas that can be incrementally pursued as opportunities develop over time.

- 1** Partner with INDOT to improve SR 9/Main Street safety, local traffic accessibility, bicycle lanes, and pedestrian walkability while accommodating farm vehicles and Hope's traditional parade route.
- 2** Reorganize SR 9 travel lanes for safer parking, shorter crosswalk distance, bicycle accommodation, and space for historic lighting and street trees.
- 3** Create protected mid-block crosswalks between all four business blocks and the Square's proposed path system.
- 4** Improve parking areas for clearer circulation pattern, intersection safety, parking efficiency and improved community Heritage Days staging and experience. Consider consistent parallel curbside parking.
- 5** Enhance visitor experience and Town Square image with improved lighting and banners, and pockets for trees, flowers, benches and furnishings that reflect Hope heritage and culture; create a common expression along all four blocks facing the Town Square.
- 6** General: Assist property and business owners with guidelines for facade improvements, signage, and distinctive Hope awnings. Provide incentives with grants and/or loan programs for implementation.



- 7** Partner with property owners of vacant or underutilized sites to identify appropriate development opportunities that provide a mix of retail, services and housing in the Town Square district for improved visitor appeal and economic performance.
Refresh the Town Square with a series of incremental but related improvements to make it more effective and sustainable:
- 8** Develop a meandering accessible walking path that connects multiple Town Square elements and the surrounding blocks.
- 9** Expand the playground with softened edges and better separation from streets.
- 10** Renovate the shelterhouse for multi-season usage, more open interior space, terraces and restrooms.
- 11** Improve audience seating and performance space for the bandstand and flowering trees for parking buffer.
- 12** Restore the tree canopy that once lined adjacent neighborhood streets leading into the Town Square.
- 13** General: Develop walking and buggy tours within a quarter mile radius of the Town Square with wayfinding/interpretive signage.

 Parcel Development Opportunity
 Building Adaptive Reuse Opportunity

Organization of the Revitalization Plan

A plan to organize, prioritize and implement all or some of a consensus of ideas generated by Main Street of Hope and engaged members of the community for the economic development and revitalization of Downtown Hope for present and future generations.

SUMMARY OF THE PLAN

Introduction and plan organization, summary of the strategies for revitalization and implementation recommendations, Vision Plan Map of considerations for the Main Street of Hope planning area

C1 PURPOSE, CONTEXT, PROCESS

Main Street of Hope mission as basis for revitalization program, the location, demographics, existing conditions, zoning, land use, and ownership, National Register building designations within the Main Street of Hope planning area, and public engagement process for consensus

C5 PUBLIC SPACE SAFETY, WALKABILITY & STREETScape

Safety, walkability, physical framework, parking; Main Street safety diagrams; Proposed Main Street District and Streetscape Map Proposed Main Street District Furnishings and Streetscape Character; Proposed Main Street District Infrastructure Map

C2 DRIVERS OF REVITALIZATION

Strategy 1: Celebrate Hope heritage and values; Strategy 2: Focus on the Town Square; Strategy 3: Invest in public space safety, connectivity, and streetscape improvements ; Strategy 4: Populate downtown with residents, employers and increased visitation

C6 DESIGN GUIDELINES

Period of historic significance
Block level building design guidelines
General guidelines, site improvement and urban forest guidelines
Key building guidelines

C3 CELEBRATE HOPE HERITAGE AND VALUES

Align identity with cultural heritage and values
Support the community's social network
Strengthen existing celebrations and develop new programs
Incorporate heritage elements into the Town Square environment

C7 IMPLEMENTATION & INVESTMENT STRATEGIES

Introduction, Proposed Zoning and Infrastructure Project Maps, Near Term (2016-2021), Mid Term (2021-2024) and Long Term (2024-2027) Programs, Policies or Projects to Consider, Detailed Project Scope and Budget Descriptions, and Funding Options and Sources

C4 TOWN SQUARE OPPORTUNITIES

Town Square is Hope's most important community asset
The Hope urban forest is the context for Town Square improvements
Town Square renewal recommendations map
Town Square lighting map

A APPENDIX

Project Meeting Record; SR 9/Main Street Traffic Counts provided by INDOT

Chapter 1

Purpose, Context, Process

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INTRODUCTION

An energetic Main Street of Hope¹ committee of residents and business owners led the development of a Downtown Revitalization Plan for the Town of Hope, Indiana. Funded by a Community Focus Fund grant through the Indiana Office of Community & Rural Affairs², this plan develops strategies to accomplish the following goals:

- Encourage and guide new investment in the downtown in support of Hope’s character and culture
- Create a more active, attractive and walkable downtown environment for existing and future residents and businesses

The Downtown Revitalization Plan establishes a roadmap to create a market-viable and sustainable downtown as a community center and unique destination within the tri-county region. Hope residents are invested in its unique heritage and culture evidenced in both the spirit and place of the downtown district. To make the downtown economically sustainable and relevant to today’s needs is an exciting, challenging, and collaborative process.

The Plan was developed in response to the Hope community, its history, and its aspirations, while grounded in objective observation and application of best practices. It establishes strategies and ideas based on options that can be incrementally pursued as implementation and funding opportunities develop. It is a “living document” that can be adapted as implementation occurs.

¹ The Town of Hope Indiana Main Street, <http://townofhope.org/indiana-main-street/>

² Indiana Office of Community & Rural Affairs, <http://www.in.gov/ocra/2362.htm>

PURPOSE AND GOALS

The Town of Hope has recognized the opportunity to activate investment in their downtown and create an improved future for their residents and businesses by undertaking a Downtown Revitalization Plan.

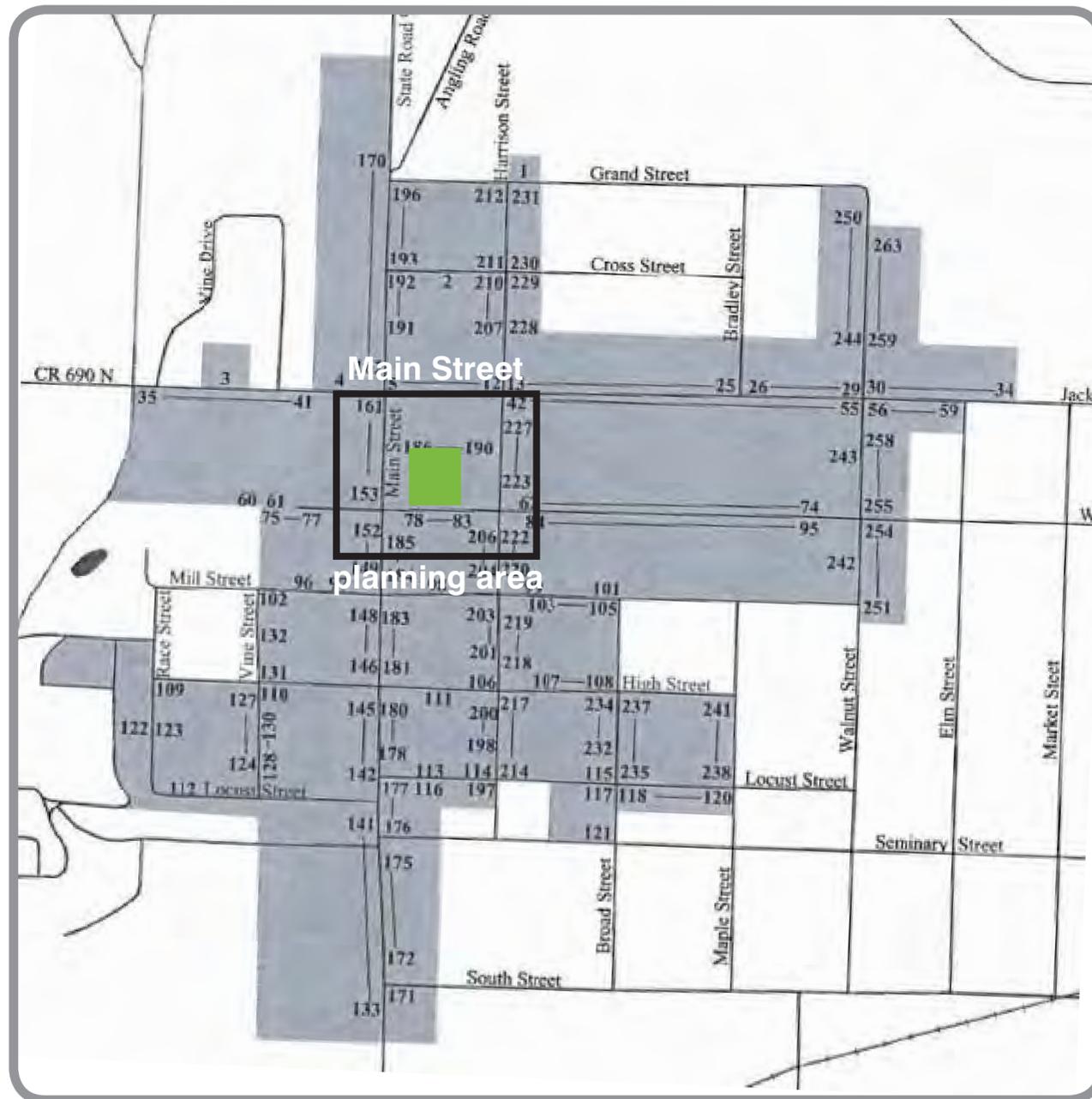
The purpose of the Downtown Revitalization Plan is to provide planning and development guidance for downtown residents, business owners, and public officials to support the mission of Main Street of Hope.

MISSION

“Main Street of Hope is a community organization dedicated to the revitalization of the Hope Town Square through historic preservation and beautification, promoting local businesses while attracting new businesses, creating new housing opportunities, and becoming a destination for tourism.”

The foundation for the Plan rests upon four strategies, derived from the above Mission Statement:

- 1 Celebrate Hope heritage and values.
- 2 Focus on the Hope Town Square to make it more effective and sustainable.
- 3 Invest in public space safety, connectivity and streetscape improvements.
- 4 Populate downtown with residents, employers, and visitors.



Hope Historic District. Source: Indiana Landmarks

HISTORY, POPULATION AND DEMOGRAPHICS

Hope was settled in 1830 by Moravians from Salem, North Carolina led by the Rev. Martin Hauser and Thomas Essex, members of the Madison County White River Moravian Mission of North Carolina. Hope is the only Moravian settlement in Indiana. Moravian refers to a small group of Germanic Protestants who fled to America in the 1700's to escape religious persecution in Europe.

According to research developed for the National Park Service, "[Teaching with Historic Places Lesson Plans](#)", the planning for all Moravian settlements took place at the Moravian headquarters in Herrnhut, Czechoslovakia³. The design for the Town of Hope reflected these Moravian cultural beliefs. Streets, residences, community buildings, and industrial sites were carefully located according to their function and were organized around a central square (Der Platz), which was intended to remain as open space. Typical Moravian architecture in America included such features as red brick window arches, small windows, herringbone patterned wood doors, and roof dormers. A utilitarian culture of crafts and farming was a Moravian characteristic that is reflected in the simple buildings in the Hope Historic District. Moravian traditions include a love of music, considered one of life's simple pleasures and evidenced by the Bandstand in the Hope Town Square.

Hope is the only community in Indiana that has had continuous, free rural mail delivery since 1896⁴. Because of that honor, the Indiana Rural Letter Carriers Association placed a museum dedicated to Rural Mail Delivery in the Hope Town Square in 1975. The artifacts are currently stored by the Yellow Trail Museum. The downtown area of Hope was added to the National Register of Historic Places (NRHP) in 1991 (#91001864). The district is generally bordered by Haw Creek to the west, Grand Street to the north, Walnut Street to the east, and South Street to the south. The district comprises most of the original 160-acre Moravian purchase (see highlighted area in historic plat map on the inside cover) of 1830, plus parts of some 19th century additions that were adjacent. Most of the commercial buildings are brick and are one to three stories in height. The period of significance for the National Register Nomination is 1830-1998.

Streets are generally tree-lined within the Historic District, except for around the commercial core. Some brick and stone sidewalks remain, although most are now concrete.

³ National Park Service "Bethlehem, Pennsylvania: A Moravian Settlement in Colonial America", <https://www.nps.gov/nr/twhp/wwwlps/lessons/59bethlehem/59facts3.htm>

⁴ Hope's History of Rural Mail Delivery, Barbara Johnson, 4/7/2015, <http://hsjonline.org/main.asp?SectionID=13&SubSectionID=48&ArticleID=374>

Event Listings for 2016

Farmer's Market of Hope-Local banks-cruise-ins

First Friday of every month - May - September (including every Friday in July) 5-8 PM

May 21 6-8PM/May 22 1-3 PM WiLLow LeaVes Theatre "Hot Fudge Pickles"

\$10 Adults/\$5 Students/\$0 Preschoolers Featuring Hope Sixth, Fifth & Fourth Graders

5/21/16 Rumble for the Cure - Town Square

6/4/16 Relay for Hope - Town Square - 8am to 11pm

www.relayforlife.org/hopein

6/4/16 First Sat/month - Little Opry of Hope at WiLLow LeaVes - Concessions only

6/10/16 6th Annual Smoke on the Square-Town Square 5-9PM

6/11/16 Smoke on the Square-11 till sold out BBQ Competition - BBQ-Music-Kids Activities

6/18/16 Girlfriend Ride

7/1/16 Old Fashioned Independence Day Celebration-4th of July

Music on the bandstand/pie baking contest/old fashioned kid-family games on the square/cake walk/pony rides/The YTM will be open for visitors and serving ice cream floats/fireworks will begin at dusk

Art Guild of Hope Fundraiser

July 16 @ 9:00 am - 1:00 pm

The Art Guild of Hope and Tri-State Artisans will be hosting a fund raiser on the Town Square. The cost is \$35/person and is for ages 8 and up.

8/28/16 Art and Antiques Fair on the Square

9/7/16 Hope Ride - Hope Town Square

9/18/16 Bicentennial Torch thru Hartsville

9/21-25/16 49th Hope Heritage Days

Veterans Day - Nov 11 if on a week day, free brunch is served for veterans and their guests 10:30 am - 12:30 pm at Yellow Trail Museum

Christmas of Yesteryear - Friday before Thanksgiving 5-9 pm YTM

Christmas Homes Tour - First Friday of December 6-9 pm YTM

Sample 2016 event listing provided by the Town of Hope

Hope is located in Haw Creek Township in the northeast corner of Bartholomew County. Hope is located at the edge of some of the richest farmland in Indiana, known as the Hawpatch, composed of glacial gravel and sand.⁵ This rich farmland is an area approximately 12 miles long and 3 miles wide located to the north and west of Hope between the Flat Rock River and Haw Creek.

According to the 2010 U.S. Census, Hope had a population of 2,102 people. According to the *Town of Hope Comprehensive Plan*⁶ Hope's population has remained historically stable. The age distribution of residents under the age of 19 and 20-29 is slightly higher than other nearby areas. The Comprehensive Plan attributed the low number of residents who were 65 years of age or older to a lack of housing suited to meet the needs of seniors.

According to *Downtown Land Use Focus Group* discussions, the downtown housing rental market is strong, and competitive with Columbus and Bartholomew County. In downtown Hope, many of the upper floors of the buildings are underutilized. The B-2 Zoning District - General Commercial - allows residential use as conditional to the primary zoning.

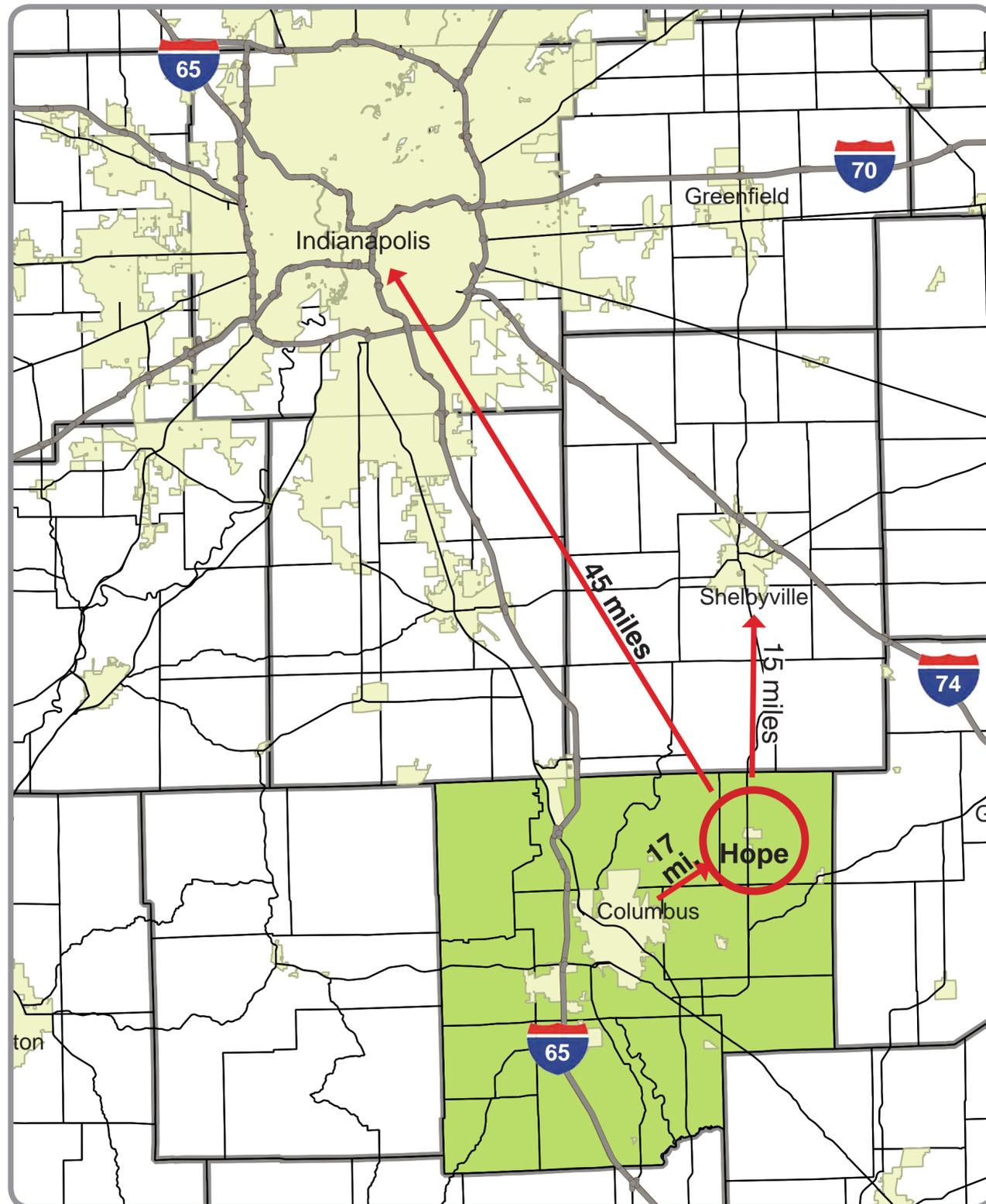
Observation during different days of the week and times of the day indicates activity on the Town Square is busy and consistent. Most of the businesses are locally owned and managed, and the downtown district is a local destination. There are three full service restaurants open regularly in addition to a specialty grocer with a deli counter. The Town Square playground has activity most of the day and is another destination.

In addition there are many events and celebrations in downtown Hope. Several attract up to 30,000 people for a weekend. Shown to the left is the event listings for 2016. Most events are held to support local charities and non-profits. Heritage and culture are strong market differentiators for Hope as a destination.

⁵ National Register of Historic Places Nomination, Hope Historic District, 1991.

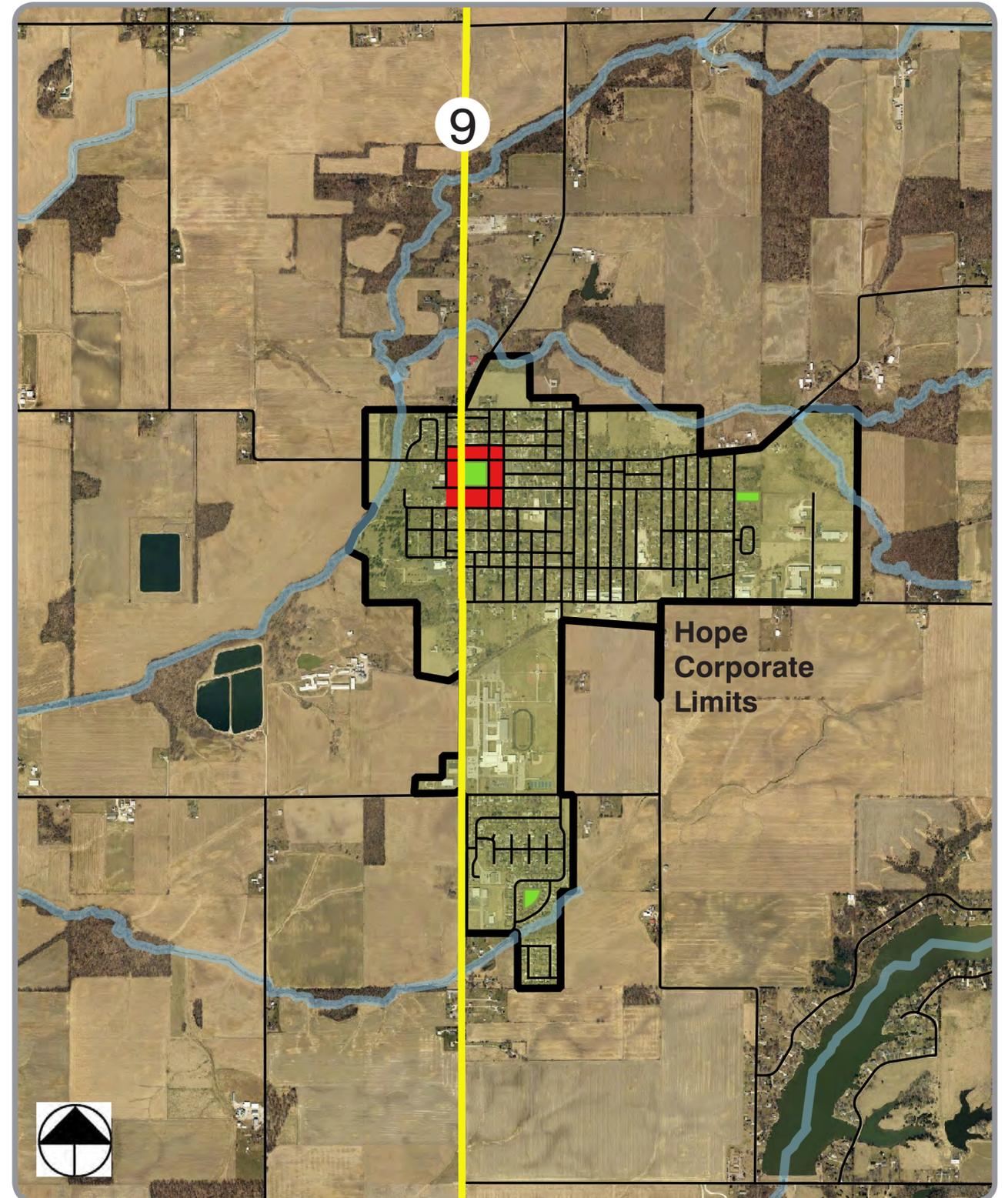
⁶ Town of Hope Comprehensive Plan, October 2012, Prepared by DLZ and The Planning Workshop, Inc.

CONTEXT MAPS



REGIONAL MAP

The Town of Hope, approximately one square mile in area, is located in Haw Creek Township, in the northeast area of Bartholomew County. The county seat of Columbus is an employment, shopping, health care and leisure activities destination for many Hope residents.



CONTEXT MAP

Hope is a compact town of 2,100 people centered within a region of well-tended family farms. It is known for its historic character, small town ambiance, highly regarded schools and a unique heritage and culture based on its 1830 founding by Moravian settlers. It was laid out in 1837 and incorporated in 1859.

CONTEXT MAPS



Main Street Area Map

The *Main Street of Hope* boundary defines the downtown district and its mostly commercial blocks that face the Town Square, which are the focus of this plan. The square is bounded on three sides by 80-foot wide local streets and parking areas, and by SR 9/Main Street on its west side.

A ten-minute walkable district, or quarter-mile zone, includes the downtown, adjacent historic churches and the route to the interesting Moravian cemetery.

Historically, hitching rails for horse-drawn vehicles lined all four sides of the Town Square, keeping the building frontage walks free and clean for pedestrians and deliveries.

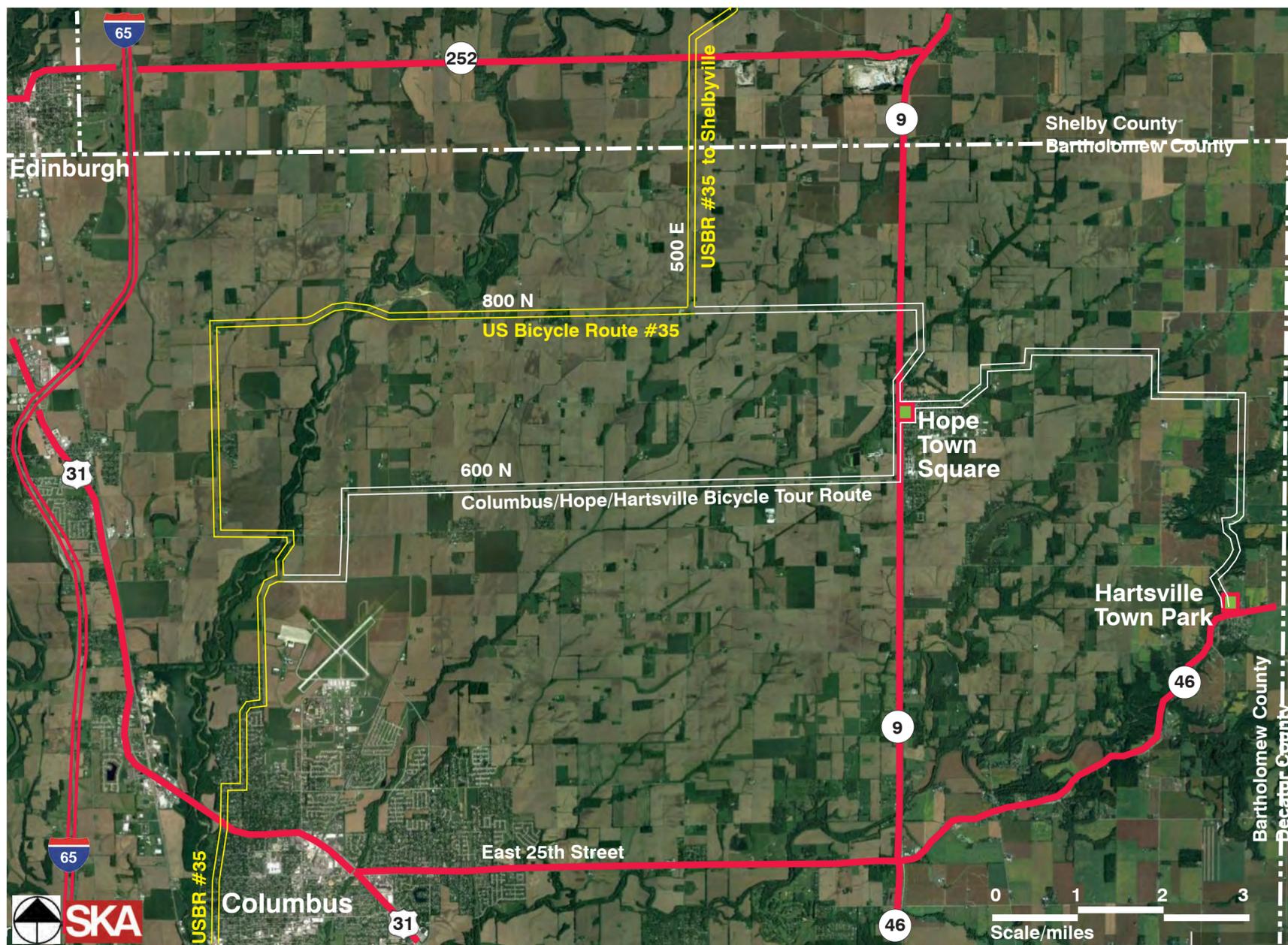
The town streets generally have a green canopy of trees, except for the downtown area and its adjacencies.

Jackson Street is a through-street that connects to County Road 690 North. Main Street is also a through-street controlled by the Indiana Department of Transportation (INDOT) as State Road 9.

Harrison and Washington Streets end at the town boundary and are not through streets.

Through the early automotive era, Main Street was the primary commercial frontage with functional characteristics equal to the other three bounding streets. SR 9's through-traffic characteristics, however, now isolate it from the Town Square.

CONTEXT MAPS



TRANSPORTATION MAP

State Road 9 and the recently upgraded SR 252 provide Hope's residents their primary access to Columbus, Shelbyville and Interstates 65 and 74. SR 9 is also a logistics route for distribution of the region's mining and agricultural products. That heavy truck traffic through one side of the Hope Town Square, in the absence of intersection controls, conflicts with local vehicular traffic movements and pedestrian district walkability.

SR 9 also provides the only north-south corridor suitable for transport of oversize agricultural equipment, classified as exempt slow moving vehicles. That creates challenging

design issues for accommodating both an important aspect of the local economy and principles of safety and walkability that are important to a thriving downtown district. Potential design solutions to these issues are discussed in the following sections of this study.

A benefit of not having a feasible through-traffic bypass alternative, is that downtown events and attractions are highly visible and accessible to regional traffic, particularly if the through-traffic can be calmed to minimize impacts on safety, bikeability and walkability.

Bicycle Tourism Opportunity

Although Hope has limited bicycle facilities, it is a bike touring and organized ride destination, with several attractive country road routes across scenic agricultural expanses dotted with woodlots, hedgerows and stream crossings.

The recent designation of a route through Bartholomew County as a component of the *United States Bicycle Route System* presents an opportunity to strengthen that element of tourism-based economic development. USBR#35, indicated on the adjacent map, extends from Ontario, Canada to the Ohio River in southern Indiana. The segment between Shelbyville and Columbus is only three miles from the Hope Town Square.

A currently proposed 13-mile long side-trip loop off the national route converges on the Town Square and continues on for another eight scenic miles southeast to Hartsville. Formalizing the route with effective wayfinding signage at intersections and providing cyclist-oriented amenities (coffee shop, bike racks, bed and breakfast) on and around the Town Square would encourage cyclist visitation. Focused maintenance and upgrades to the streets within Hope, including wide shoulders or bike lanes along a utilized segment of SR 9/Main Street would further contribute to safe and pleasurable cycling experiences that foster repeat visitation.

The other aspect of this resource, if developed, is that it becomes another plus on the quality-of-life checklist that potential residents of the younger demographic carry in their heads.

Note: See Appendix for SR 9 traffic data

PROPERTY OWNERSHIP|EXISTING ZONING|EXISTING LAND USE MAPS

Shown below and on the next page is documentation of property ownership, existing zoning and existing land uses in the Main Street area.



Property Ownership Key

| | |
|-------------------------------------|----------------------------------|
| 1 ANDREWS | 16 HUFF |
| 2 APOSTOLIC CHURCH | 17 HUFFMAN STONE |
| 3 ARFORD | 18 KNIGHT |
| 4 BARTHOLOMEW COUNTY PUBLIC LIBRARY | 19 MCQUEEN |
| 5 COMMUNITY CENTER OF HOPE | 20 NORMAN |
| 6 CONVENIENCE STORES LEASING | 21 RITZ |
| 7 CORNETT | 22 ROBERTSON |
| 8 DECKARD | 23 SCHULZ |
| 9 EMBRY | 24 SONGBIRD RENTALS |
| 10 FERGUSON | 25 STEINBARGER |
| 11 GREEN CREEK REALTY LLC | 26 SURPRISING LITTLE TOWN LLC |
| 12 HARVEY | 27 TALLENT |
| 13 HOPE BAPTIST CHURCH | 28 TED-MIL SQUARE PROPERTIES LLP |
| 14 HOPE MAIN STREET LLC | 29 TOWN OF HOPE |
| 15 HOPE VOLUNTEER FIRE DEPT | 30 WHITTINGTON |
| | 31 YELLOW TRAIL MUSEUM |

Note: Color coding indicates multiple parcels owned by the same entity.

EXISTING PROPERTY OWNERSHIP MAP

Most property owners are local and participated in plan development through focus groups or public workshops. They share an appreciation for Hope’s heritage and small town character.

Several property owners own multiple parcels in the study area which is an opportunity for cohesive reinvestment strategies.

See *Property Investment Analysis & Observations Map* on page 16 for National Register designation of the buildings in the study area.

PROPERTY OWNERSHIP | EXISTING ZONING | EXISTING LAND USE MAPS



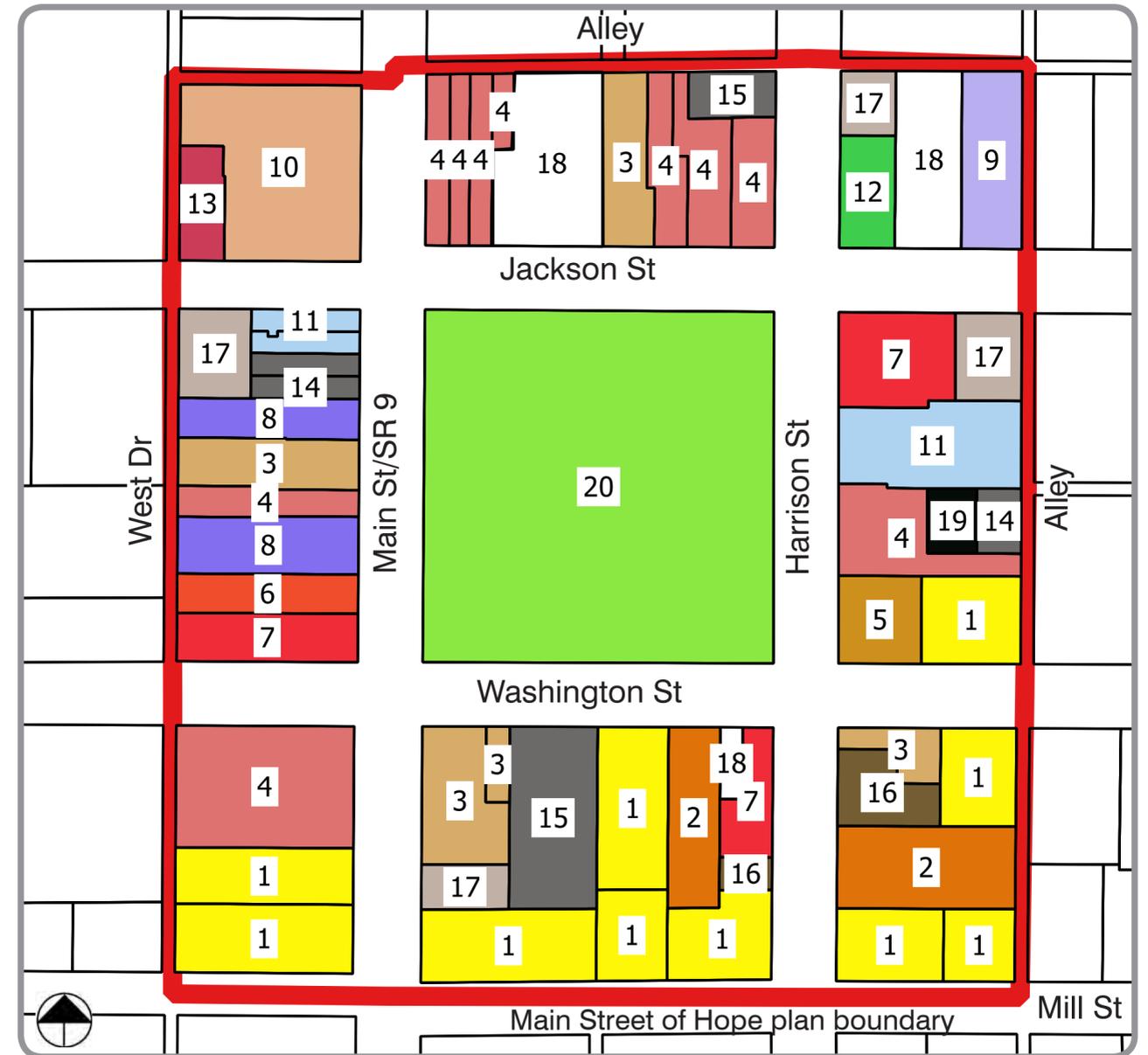
Zoning Key

- R-2 Single Family Residence District
- R-3 Single Family Residence District
- B-2 General Commercial District
- I-1 Industrial District

EXISTING ZONING MAP

There are several zoning map issues regarding the study area, including:

- No mixed-use zoning provisions.
- The Comprehensive Plan recommends establishment of an Historic Preservation Overlay District, which has not occurred yet.
- The Town Square green space is zoned commercial.



Land Use Key

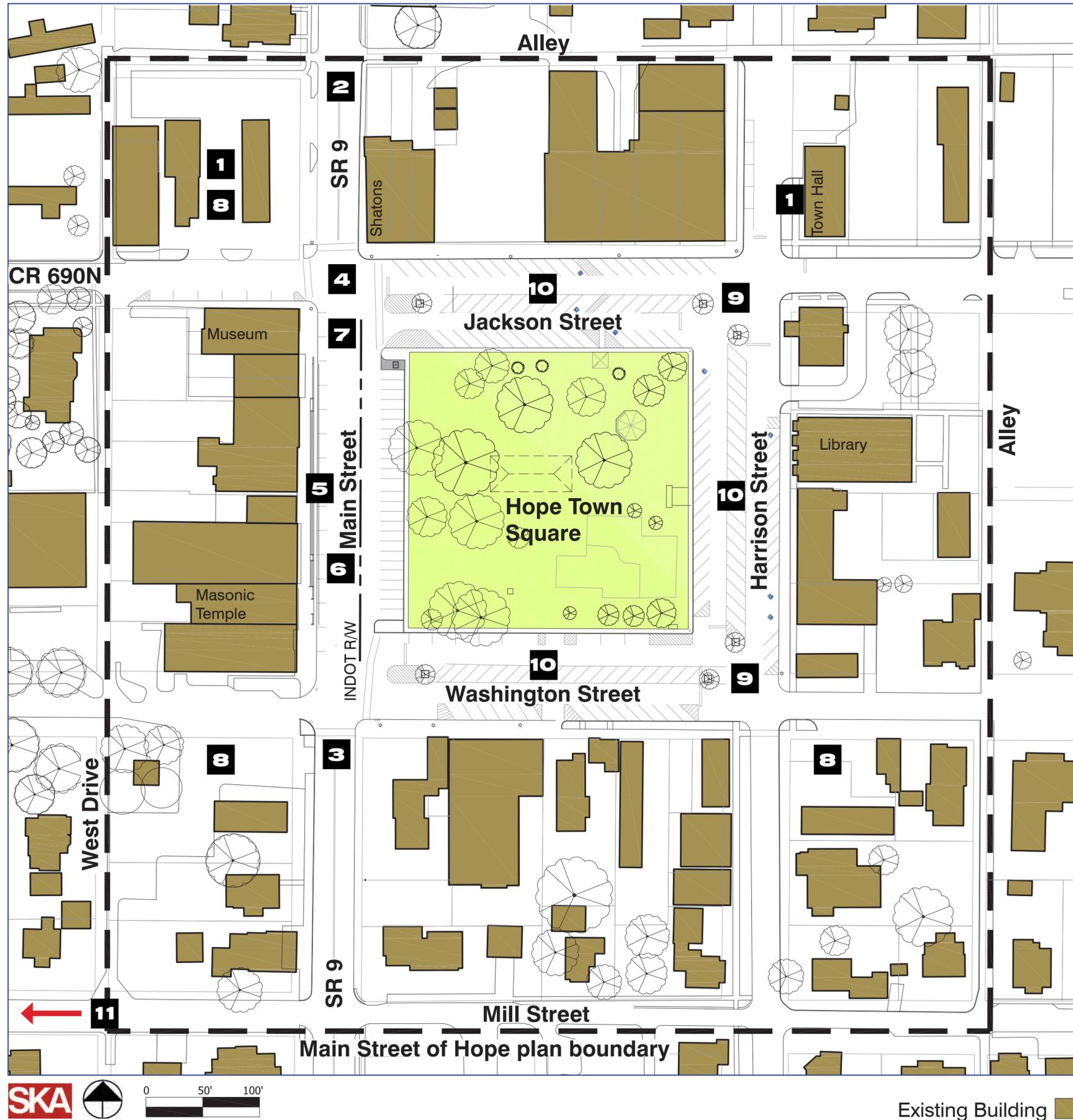
- | | | |
|--|--|---|
| 1 Single Family Residential | 8 Manufacturing | 15 Vacant Truck Garage |
| 2 Multi-Family Residential | 9 Storage Sheds | 16 Vacant Manuf/Storage Building |
| 3 Local Restaurant | 10 Automotive Service | 17 Paved Off-Street Parking |
| 4 Local Retail | 11 Institutional | 18 Vacant Land |
| 5 Office | 12 Town of Hope | 19 Utility |
| 6 Mixed Use | 13 Religious Building | 20 Park/Green Space |
| 7 Service | 14 Vacant Retail Building | |

EXISTING LAND USE MAP

Most restaurant, retail, and service businesses are locally owned, which is unique in an era of franchises. Three vacant lots are development opportunities for mixed-use buildings with retail on the ground floor and office or housing in upper floors. Vacant garages and storage/manufacturing buildings are opportunities for redevelopment strategies that support downtown activation.

EXISTING CONDITIONS MAP & OBSERVATIONS | MAIN STREET AREA

- 1** Public restrooms available.
- 2** Average daily traffic is 3753 vehicles north of Jackson Street on SR 9.
- 3** Average daily traffic is 5660 vehicles south of Washington Street on SR 9 indicating nearly 1,000 vehicles turn daily into and out of streets in Town Square vicinity.
- 4** Safety issue at the Jackson/Main intersection: poor sight lines on NE corner make left turns from Jackson hazardous.
- 5** Parking along west side of Main Street feels unsafe.
- 6** No method for through-traffic to be notified of festivals and town assets.



- 7** Accessible route for pedestrians across SR 9 is at intersections only. Otherwise, stairs are used along the block to access west side businesses.
- 8** Large parking lots at corners of district dilute the Town Square building edge and "sense of place".
- 9** For visitors, traffic circulation patterns are confusing, particularly at the Town Square intersections.
- 10** Diagonal parking layout impedes pedestrian access from Town Square to businesses.
- 11** Potential walking route to historic Moravian Cemetery.

EXISTING CONDITION PHOTOS | JACKSON STREET

Abbreviation NRHP = National Register of Historic Places



Shatons (c.1911), Art Gallery (c.1870) and Swiss Maid (c.1940). Designated contributing historic buildings on NRHP.



Vacant Lot - outdoor furniture is displayed and sold on north side of Jackson Street. Site of former Clouse's IGA.



Willow Leaves Restaurant and Shop (c.1900). Designated a contributing historic building on NRHP.



Special By Design Building (c.1900). Designated a contributing historic building on NRHP.



Accents Building - undergoing renovation/restoration into 120-person Event Center (c.1890). Designated a contributing historic building on NRHP.



Pioneer Mural on the Gold Nugget facade facing Harrison Street (c.1900).



Former Volunteer Fire Department - vacant (c.1900). Designated a contributing historic building on NRHP.



Town Hall on the northeast corner of Jackson and Harrison Streets.



View east from Harrison into the residential neighborhoods.

EXISTING CONDITION PHOTOS | MAIN STREET

Abbreviation NRHP = National Register of Historic Places



Norman Funeral Home (on left c.1902, contributing to NRHP); commercial building on right (c.1880 non-contributing to NRHP).



Masonic Temple, retail/service on ground floor, housing on upper levels (c.1910) designated a contributing historic building on NRHP.



Deckard Tool and Engineering Company Machine Shop (c.1880). Designated a contributing historic building on NRHP.



Liquor Store (on left c.1970) and El Jefe Restaurant (on right c.1960), both non-contributing buildings to NRHP.



Deckard Tool and Engineering Company Offices (c.1880). Designated a contributing historic building on NRHP.



Photography Studio - vacant building (c.1880). Designated a contributing historic building on NRHP.



Yellow Trail Museum at the corner of Jackson Street (c.1881). Designated a contributing historic building on NRHP.



Looking south on Main Street from the Photography Studio.



Looking north from Washington Street intersection.

EXISTING CONDITION PHOTOS | WASHINGTON STREET

Abbreviation NRHP = National Register of Historic Places



Looking east from the Main Street intersection.



Corner Cafe on the corner of Main Street (c.1900). Designated non-contributing building to NRHP.



Historic Spaug's Garage now office space with vacant NAPA Building behind with access from rear alley and driveway cut off Washington Street (c.1915). Contributing historic building to NRHP.



Miscellaneous structures. Left, ranch house (c.1960), non-contributing. Middle, commercial building (c.1960) non-contributing, Right, house (c.1880), contributing historic building to NRHP.



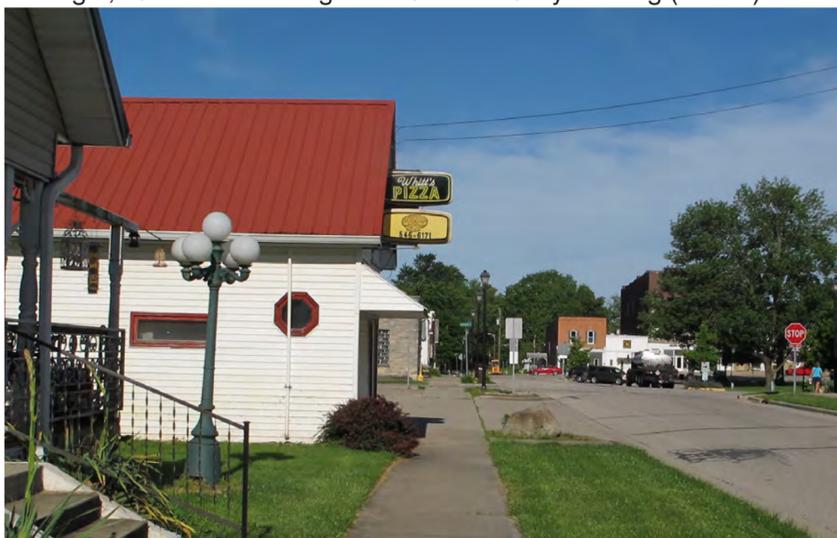
Left, vacant garage building facing Harrison Street (c.1960). Middle, vacant lot. Right, ranch house being used as multi-family housing (c.1960).



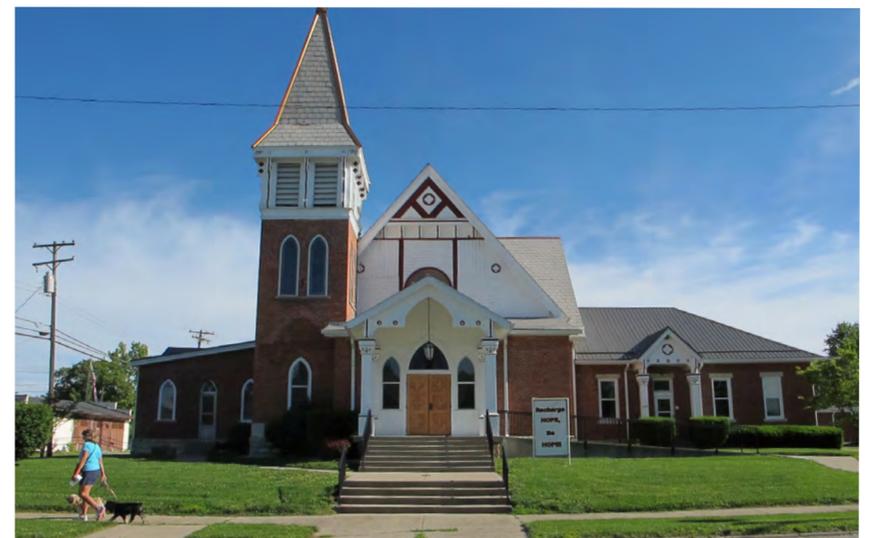
View looking east on Washington - note driveway cut mid-block.



Doctor's Office (former Post Office building c.1960). Designated a non-contributing building to NRHP.



Pizza-Take Out Restaurant east of the Washington and Harrison intersection (c.1982). Designated non-contributing building to NRHP.



Hope United Methodist Church (c.1887, 1911, 1915). Designated an outstanding building to the NRHP.

EXISTING CONDITION PHOTOS | HARRISON STREET

Abbreviation NRHP = National Register of Historic Places



Whitt's Pizza at the SE corner of Washington and Harrison (c.1982). Designated non-contributing building to NRHP.



Office building on the NE corner of Washington Street (c.1920). Designated a contributing historic building on NRHP.



Vacant lot with fence along frontage.



Office building (c.1960). Designated non-contributing building to NRHP.



Mixed use of retail, office and service (c.1910). Designated a contributing historic building on NRHP.



Left, Bartholomew County Public Library - Hope Branch (2001). Architecturally significant. Deborah Berke, Architect.



Full facade view of the Bartholomew County Public Library - Hope Branch (2001). Architecturally significant. Deborah Berke, Architect.



Former Irwin Bank and Trust, Hope Branch, shown in photo when in use as Visitors Center (c.1958). Designated outstanding building to NRHP. Harry Weese, Architect.



Former Irwin Bank and Trust, Hope Branch, shown in photo with new use as Hope Pharmacy (c.1958). Designated outstanding building to NRHP. Harry Weese, Architect.

EXISTING CONDITION PHOTOS | HOPE TOWN SQUARE

Abbreviation NRHP = National Register of Historic Places



Shelterhouse (c. 1965). Designated a contributing historic building to NRHP. Located in the middle of the Hope Town Square.



Bandstand (c.1981). Designated a non-contributing building to the NRHP. Replica of the original bandstand.



Pump House (c.1900). Designated a contributing building to the NRHP. Located off Jackson Street.



Playground located in the Hope Town Square at the corner of Washington and Harrison Streets.



Popular tire swings in the playground.



Play structure in good shape and a popular destination.



The Hope Town Square has mature, native trees that are an asset to the green space.



The playground is about four-feet lower in grade than the Shelterhouse.



View east from the upper story of the Masonic Temple to the Hope Town Square.

EXISTING CONDITION PHOTOS | FURNISHINGS AND CHARACTER



Looking south on Main Street on the upper sidewalk in front of El Jefe.



New horse trough planters.



Quilt panels are placed on many of the downtown buildings.



Hope Heritage Days 2016 - the parking courts become festival spaces.



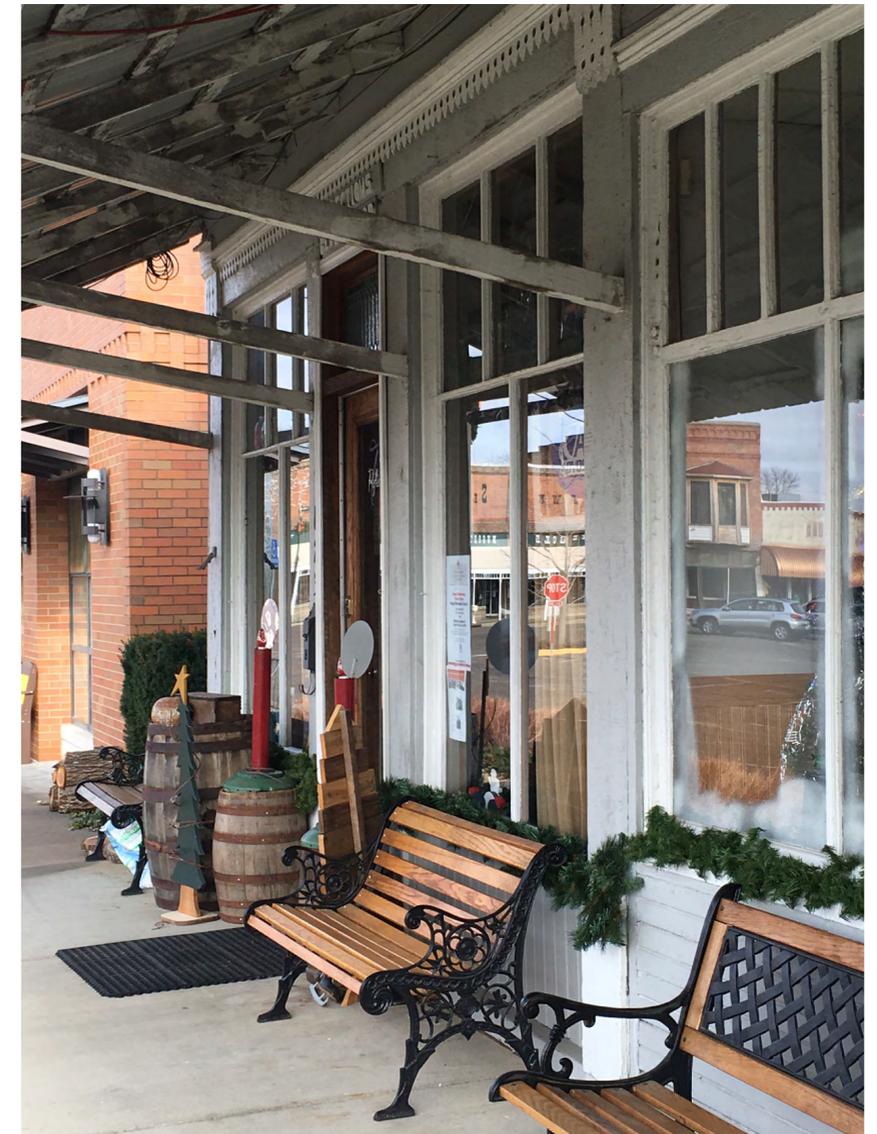
Typical bench and trash can.



New town clock at the corner of Main and Jackson Streets.



Decorative building detail.



Streetscape character on Jackson Street.

PROPERTY INVESTMENT ANALYSIS & OBSERVATIONS MAP | MAIN STREET AREA

1
Vacant lot being used for displaying outdoor furniture for sale. Opportunity for new mixed use infill building.

2
Underutilized buildings. If possible, combine with site #1 for greater utility.

3
Town Council is exploring the options for a new Town Hall with improved offices, police facilities and public meeting space.

4
Underutilized site. Opportunity for new infill building or landscape edges to define Town Square.

5
Underutilized building/site. Opportunity for new building or adaptive reuse.

6
Former dairy building underutilized. Opportunity for adaptive reuse.

7
Vacant lot. Opportunity for new infill building.

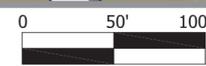
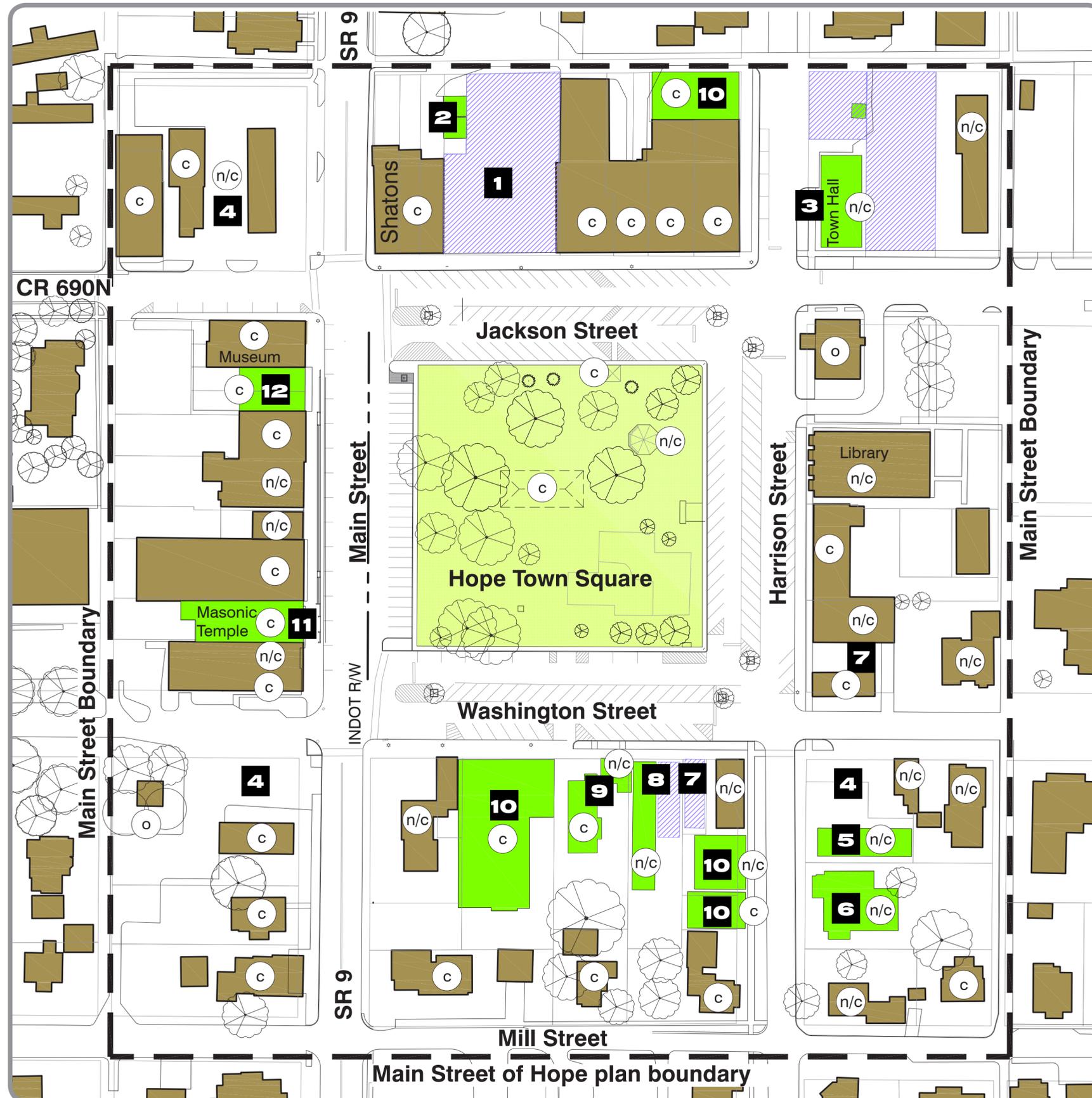
8
Underutilized building. Same owner as site #7. If possible, combine two sites for redevelopment opportunity (see page 7 for Property Ownership Map).

9
Underutilized building. Redevelopment opportunity.

10
Underutilized building. Adaptive reuse opportunity. Consider business incubator and/or job training site.

11
Underutilized landmark building. Adaptive reuse opportunity. Consider mixed-use.

12
Vacant building. Opportunity for museum expansion.



- Existing Building
- Parcel Development Opportunity
- Building Adaptive Reuse Opportunity

National Register Designation Key

- o Outstanding building to the National Register of Historic Places
- n Notable building to the National Register of Historic Places
- c Contributing building to the National Register of Historic Places
- n/c Non-contributing building to the National Register of Historic Places

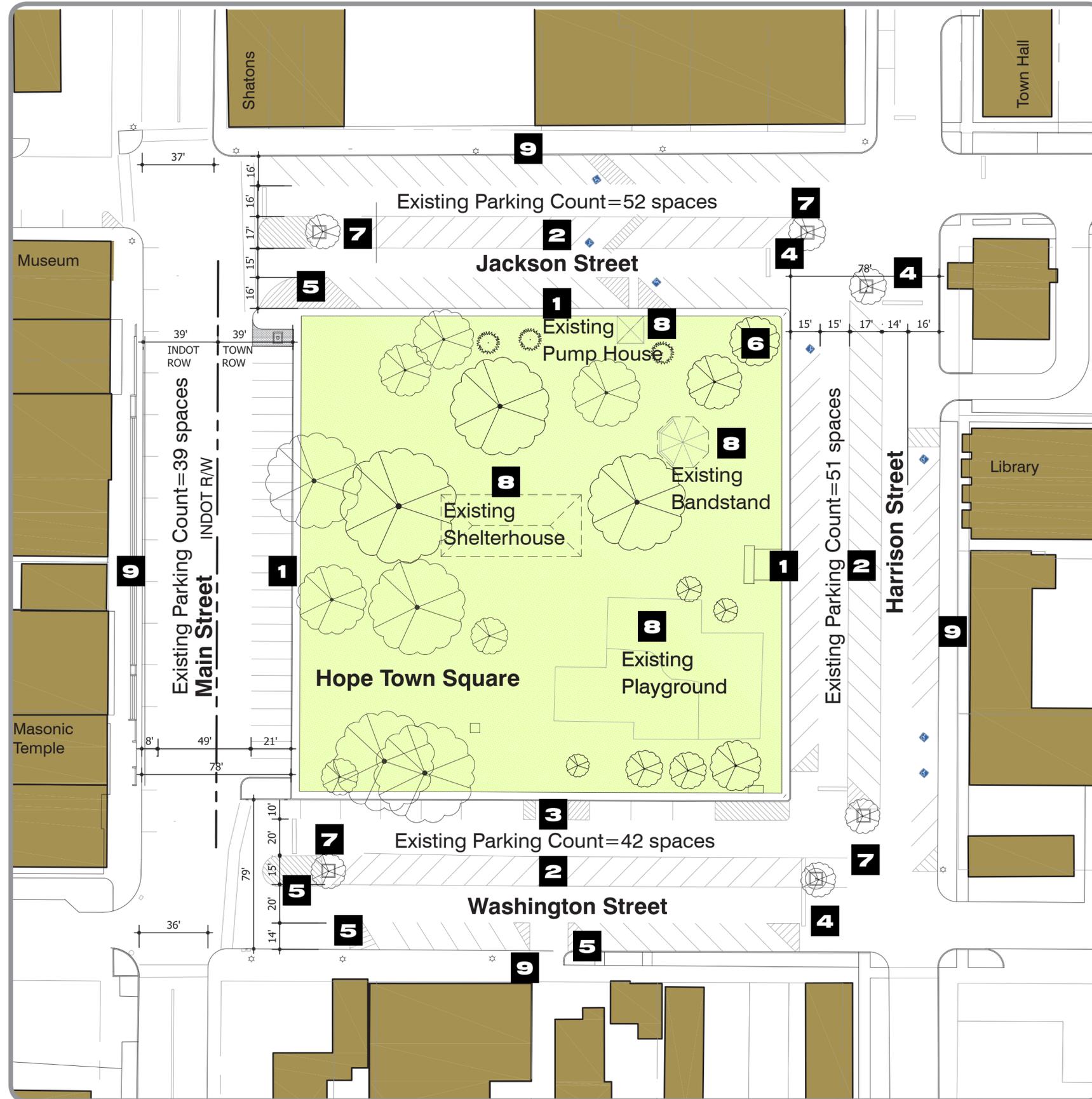
TOWN SQUARE OBSERVATIONS MAP

1 Parking layout along the Main, Jackson and Harrison Street frontages of Town Square causes car overhangs to impede sidewalk space, constraining pedestrian access and limiting amenities.

2 Center diagonal parking in/out direction relative to one way circulation is confusing on Jackson, Harrison and Washington Streets. Larger vehicles intrude into narrow circulation lanes.

3 Parallel parking on Washington is unique and a possible model for organization of all curbside parking along Town Square.

4 Intersection movements are confusing; signage, stop bar and crosswalk placement is inefficient and causes lost parking spaces.



5 Striped no-parking areas are indicators of potential locations for needed tree island enlargement.

6 Existing trees within the Town Square are well cared for and in generally good shape. The exception is the Ironwood tree labeled with #6. Half of its canopy is damaged. Consider replacing it.

7 Existing Ginkgo trees in the parking lots are struggling due to inadequate planting area.

8 Town Square features are not connected aesthetically or physically. No ADA access to Shelterhouse and Bandstand.

9 Lack of traditional streetscape amenities, aging surfaces and pavement striping.

PUBLIC ENGAGEMENT PROCESS



Main Street Committee meetings were held at Town Hall

To Contact: Susan Thayer Fye
Main Street of HOPE
Phone 812-343-3798
SFC25@sboglobal.net

Main Street of HOPE

Press Release

Downtown Revitalization Plan for Hope Indiana
Public Workshop 2 scheduled for April 27, 2017 at 6 PM

Hope, IN April 14, 2017: Main Street of HOPE is holding a second public workshop on April 27 at 6 PM in the Fellowship Hall at Hope Moravian Church, 202 Main Street, Hope, Indiana. People are invited to an opportunity to provide their input on recommendations and priorities for the Downtown Revitalization Plan prior to study completion.

**Downtown Hope Revitalization Plan
Public Workshop
March 30, 2017 at 6 PM**
Fellowship Hall
Hope Moravian Church
202 Main Street

Bring ideas to help plan the future of the Hope Town Square!

Bring Your Ideas!

Sponsored by: Main of Street of Hope | more information call 812-343-3798

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**Downtown Hope Revitalization Plan
Public Workshop 2 - April 27, 2017 at 6 PM**
Fellowship Hall at Hope Moravian Church,
202 Main Street

The Downtown Revitalization Plan will provide planning and development guidance for downtown residents, business owners and public officials to support the mission of Main Street of HOPE.

Review and comment on:

- refined recommendations
- preliminary priorities, and
- implementation strategies

Sponsored by:
Main Street of HOPE

MISSION
Main Street of HOPE is a community organization dedicated to the revitalization of the Hope Town Square through historic preservation and beautification, promoting local businesses while attracting new businesses, creating new housing opportunities, and becoming a destination for tourism.

For more information, call 812-343-3798

Press Release and Flyer's for the Public Workshops were distributed.

Overview

The six-month planning process included two public workshops, individual and focus group interviews, extensive participation in monthly working group meetings, and two updates at Town Council meetings.

The Main Street of Hope committee brought extensive knowledge and deep commitment to Hope's future to a series of work sessions that shaped the many elements of this Plan. A series of focus groups comprised of local and regional experts honed in on specifics, while two public workshops brought out preferences and ideas, as well as concerns from the larger community. Meeting notes are available in the Appendix. See Chapter 2 for a synthesis of the findings from the data gathering, analysis and the public engagement process in establishing plan direction.

Working Group Discussions

The Working Group (WG) provided guidance, feedback and comments during Plan development. The Council designated the Main Street Committee as the Working Group which comprised about fifteen people representing town leaders, business owners and residents. The WG met monthly with opportunities to participate in Focus Groups that met their interest.

Focus Groups and Individual Meetings

Over the course of plan development, six Focus Groups and many individual meetings were conducted to help the consultant gain as many perspectives and as much local knowledge as possible in a short time frame. Focus group topics included Infrastructure, Events and Festivals, Building Facade Character and Potential, Downtown Land Use, Culture and Heritage, and Transportation.

Public Workshops

Given that the population of Hope is only 2,102, the participation in the public workshops was high. Both public workshops were held at the Hope Moravian Church. The March 30 meeting had 40 participants and the April 27 meeting had about 30.

Both meetings were highly interactive. They began with a slide show that presented an overview of analysis and ideas for consideration. Large boards were laid out so people could gather around, ask questions one-on-one with the consultant, discuss the ideas with their neighbors, and examine the drawings at their own pace.

Town Council Engagement

In April and June, updates were provided to the Town Council on the outcome of the public workshops and status of plan development.

Chapter 2

Drivers of Revitalization

19 Drivers of Revitalization

20 Strategy 1: Celebrate Hope heritage and values

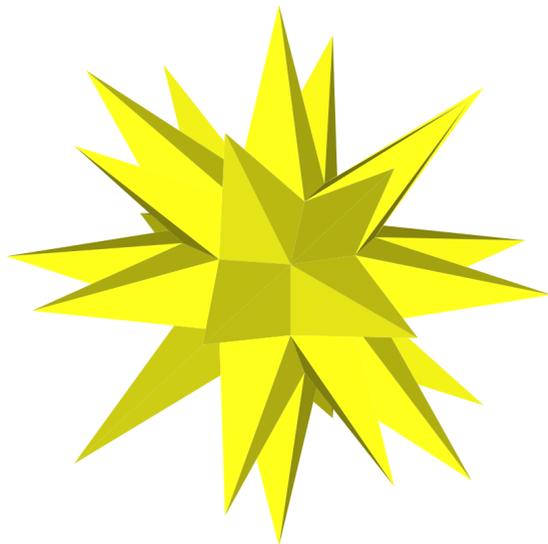
20 Strategy 2: Focus on the Town Square

20 Strategy 3: Invest in public space safety, connectivity, and streetscape improvements

20 Strategy 4: Populate downtown with residents, employers and increase visitation

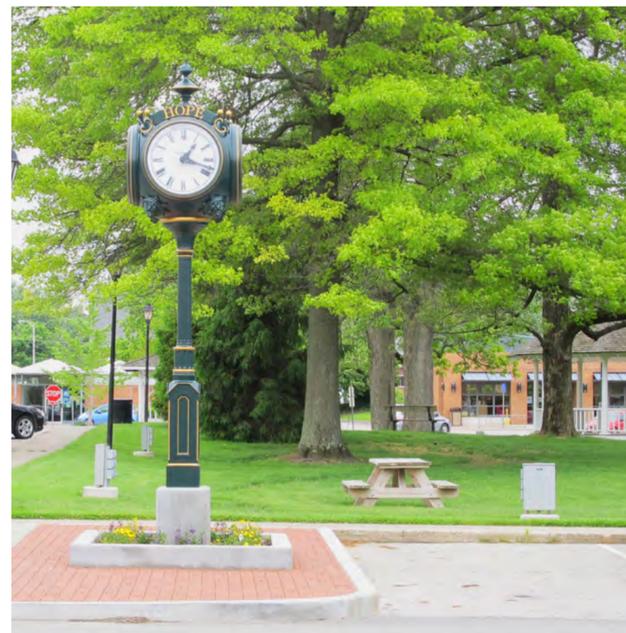
DRIVERS OF REVITALIZATION

The following themes emerged from understanding Hope’s context and demographics, analyzing and studying existing conditions, and listening to public hopes, desires, and input. These drivers of revitalization can be summarized into the following strategies that can be incrementally pursued as implementation and funding opportunities develop:



HERITAGE & VALUES

The symbols of Hope’s unique Moravian heritage, it’s farming and manufacturing culture, and the architecture of the historic buildings can be utilized to visually express Hope’s identity and culture as a market differentiator.



FOCUS ON THE TOWN SQUARE

The Hope Town Square was described as the town’s “awesome living room”. As Hope’s most important community asset, it can be improved to make it more effective and sustainable. Town Square improvements benefit residents, businesses, and the visitor experience.



SAFETY, CONNECTIVITY AND STREETScape ENHANCEMENT

Walkability fosters people’s ability to travel from one area to another within a district, fostering a sense of place and landmark, allowing browsing and enjoyment, interaction with others, and ultimately spurring economic vitality by being a destination.



POPULATE DOWNTOWN

Hope has been dormant, but new businesses, active restaurants, and building renovation is occurring. The historic building fabric and underutilized property combine to offer opportunity for growth and investment for residents, employers, and visitors.

STRATEGY 1: CELEBRATE HOPE HERITAGE AND VALUES

Objectives

- a Incorporate heritage elements into the town environment and infrastructure. Celebrate the Moravian culture and Hope founders by using light creatively, incorporating the Moravian star into the streetscape and Town Square. Find ways to highlight historic features of the Town Square. Refresh the street lighting and street sign styles to be more historically appropriate.
- b Reinforce existing and develop new communal gathering spaces to support the community's social network. Consider the Town Square and the public space of the streetscape around the Square as opportunities.
- c Use the National Register listing as the period of significance for individual building facade refreshment, and celebrate the characteristics inherent in the historic district. Provide historic signage of consistent character for downtown buildings. Develop guidelines for new construction so that infill development and adaptive reuse contribute to the historic structure fabric rather than diminish or weaken it.
- d Strengthen existing celebrations and develop new programs that are true to Hope heritage and values. For example, encourage and support the Yellow Trail Museum as an active visitors center with associated walking and/or horse & buggy tours to increase visitation and provide venues to share Hope's history.

STRATEGY 2: FOCUS ON THE TOWN SQUARE TO MAKE IT MORE EFFECTIVE AND SUSTAINABLE

Objectives

- a Link and connect the different destinations in the Town Square with an accessible pathway. Define entries that safely link to the parking courts and overall circulation system. Maintain a balance between the large event usage and their impact and daily use for passive and recreational use.
- b The Hope Town Square is a gathering space for the community. Consider ways to monetize some events and facilities while preserving public access.
- c Renovate the Shelterhouse and Bandstand to be more multi-purpose and useful year-round while being respectful of their historic qualities. Public restrooms and weather protection for extended season use are examples.
- 4 Furnish the square with elements that reinforce the culture and heritage of Hope, including the original intent of the Town Square.

STRATEGY 3: INVEST IN PUBLIC SPACE SAFETY, CONNECTIVITY, AND STREETScape IMPROVEMENTS

Objectives

- a Ensure the town environment is safe for all users, with the priority being on pedestrians, bicyclists and local traffic. Create a sense of arrival and front door to Hope. Inform SR 9 travelers about Hope happenings and amenities.
- b Connect the retail businesses on the west side of Main Street to the other three quadrants of the Town Square. Ensure parking courts are useful for both daily parking and event usage.
- c Develop the streetscape along the building frontages to extend the green characteristics and microclimate environment of the Town Square. Create spaces for people to sit and be comfortable in the public space in front of buildings.
- 4 Culture and Heritage
Facilitate event usage of the public spaces and plan for the range of activities. Leverage safety investments by incorporating heritage and cultural elements to reinforce Hope's unique identity.

STRATEGY 4: POPULATE DOWNTOWN WITH RESIDENTS, EMPLOYERS, AND INCREASE VISITATION

Objectives

- a Develop design guidelines for new construction on the vacant lots and for adaptive reuse of existing buildings that integrates and supports the needs of residents, businesses and visitors.
- b Work with potential investors in downtown to provide entrepreneurship spaces, extend the range of locally owned retail and services, and develop mentorship programs that train young people in Hope-based industries.
- c Encourage facade refreshment, building adaptation and fill the vacant lots with active uses from public/private sources, grant funding or low-cost loan programs that meet the goals and objectives of the plan.
- d Celebrate Hope's unique culture and heritage to attract new residents and businesses, and increase visitor attraction.

Chapter 3

Celebrate Hope Heritage and Values

- 21 Align identity with cultural heritage and values
- 23 Support the community's social network
- 24 Strengthen existing celebrations and develop new programs
- 25 Incorporate heritage elements into the Town Square environment

ALIGN IDENTITY WITH CULTURAL HERITAGE AND VALUES

Hope's unique history and community values combine to form its cultural heritage. Shown here and on the following page are images that inspired plan recommendations.



Horse and buggies parked at the Town Square, c.1910.

Town Square

Part of the Town's original plat, a central green space was required in 18th-century new towns planned by the Moravian Headquarters in Herrnhut, Czechoslovakia¹. The Town Square and its communal gathering spaces are the town's most important assets and a key element of the town's character.

¹ National Park Service "Bethlehem, Pennsylvania: A Moravian Settlement in Colonial America", <https://www.nps.gov/nr/twhp/wwwlps/lessons/59bethlehem/59facts3.htm>



The Deckard family, current owners of the Spaug Garage Building, operate a Tool & Engineering Company, continuing the industrial ingenuity tradition.

Industrial Ingenuity

Elda Spaug opened a filling station and garage in circa 1914, and to foster business, created a trail of marked telephone poles with yellow bands to connect Hope (and his garage) to the three early highways in Indiana; National Road, Jackson Highway and Michigan Road¹. Note the image of the "hitch rack" or railing around the Town Square for hitching horses and buggies in the foreground of the image.

¹ Image and text from "Hope, Indiana Sesquicentennial 1830 - 1980", page 9.



The original Hope Bandstand, designed by Dr. E. G. Regennas. Photo c.1917.

Celebration, Gathering, Music

The original Hope Bandstand stood in the center of the Town Square. Moravian culture has a rich and deep history with music and the tradition was fostered in Hope. As they left Europe, influenced by music from masters like J.S. Bach and G. F. Handel, the Moravians brought their culture and traditions with them to America.¹

¹ Old Salem History of Music and Moravians, <http://www.oldsalem.org/learn/research/history-of-music-and-moravians/>



This 1899 photo shows a threshing machine being shown off in front of Stapp's Drugstore (now Shatons).

Agriculture & Farming

Agriculture has been integral to Hope culture since the town was founded.¹ Dairy farming, the Hope cannery, and the Shaw Chicken Farm were all big business in the early 1900's and families were largely self-sufficient. Now, the Hope area has transitioned to fewer, larger farms, but farming is still a strong part of the local economy. You will often see modern farming equipment traveling through downtown Hope to the fields.

¹ Image and text from "Hope, Indiana Sesquicentennial 1830 - 1980", pages 34 - 45.



BUGGIES/MAIL DELIVERY

Hope has the distinction of having the first Rural Free Delivery Mail Service, and the buggy (or mail hack) was the early delivery vehicle.¹

¹ Hope's history of rural mail delivery, HS Online, 4/7/2015, <http://hsjonline.org/>



TREE-LINED STREETS

Traditionally Hope had tree-lined streets. Shown above is Jackson Street as it looked sometime between 1889 and 1911.¹

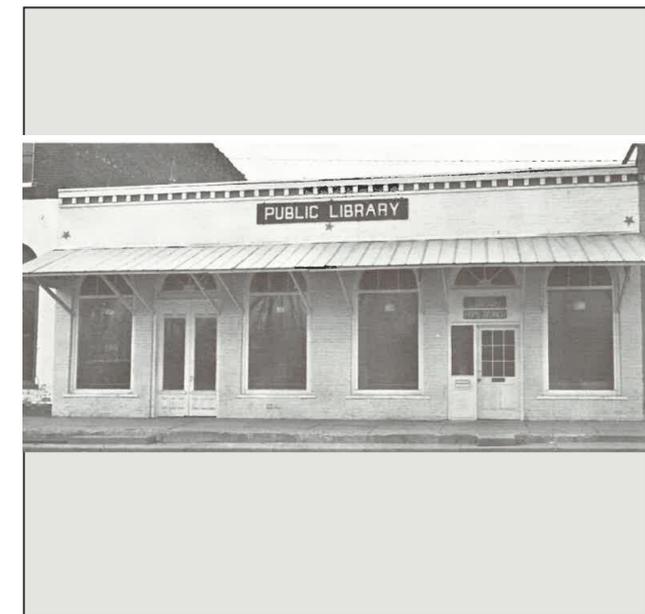
¹ "Hope, Indiana Sesquicentennial 1830 - 1980". Page 97



HISTORIC GAS LANTERN LIGHTS

The gas lantern light shown above is the model for the current Town Square lighting.¹

¹ "Hope, Indiana Sesquicentennial 1830 - 1980", Page 83.



HOPE ARCHITECTURE

Classic Hope architecture includes arch windows and simple metal awnings.¹

¹ "Hope, Indiana Sesquicentennial 1830 - 1980", Page 97.



HISTORIC STREETScape

This image shows existing features to consider about Hope's heritage: signage, architectural details, planters, benches, and gas pumps.¹

¹ "Hope, Indiana Sesquicentennial 1830 - 1980" Page 17.



EVENTS AND FESTIVALS

Hope hosts many community-sponsored events that support local charities. The Town Square is a popular regional venue.

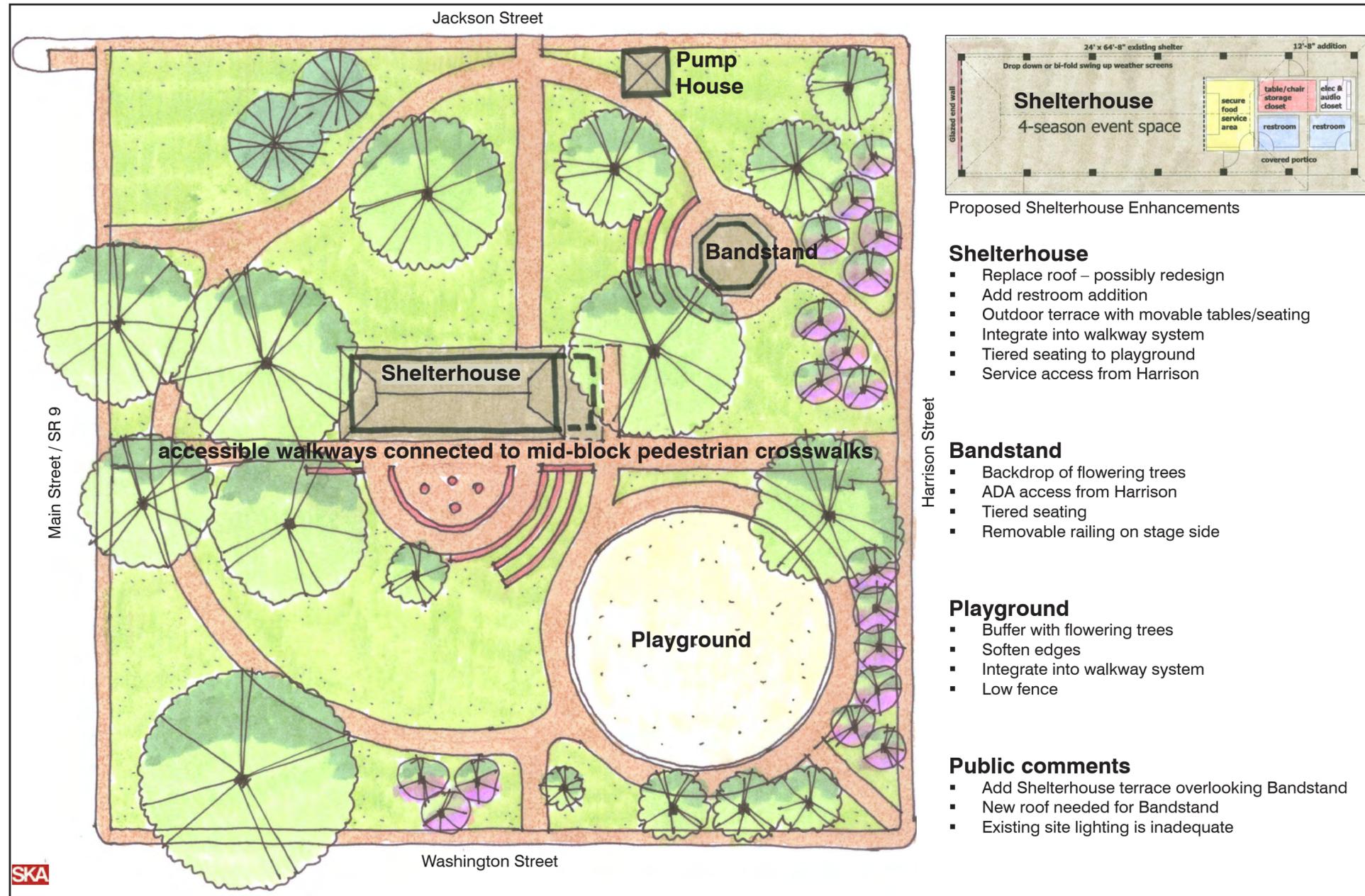


COMMEMORATIVE CLOCK

This recent addition to the Hope Town Square reflects the style and substance desired by the community for streetscape furnishings.

SUPPORT THE COMMUNITY'S SOCIAL NETWORK: REINFORCE EXISTING, AND DEVELOP NEW, COMMUNAL GATHERING SPACES

More than physical space, gathering places create community and memories. "Community" is families and neighbors, familiar places, a daily rhythm, and social systems and customs everyone understands. This is a fundamental value for Hope residents, and a value that can be reinforced by design.



Preliminary concept drawing for Public Workshop 1 in March 2017.

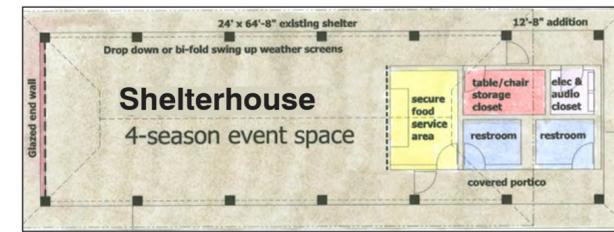
New Gathering Spaces

Hope residents delight in getting together and sharing activities at regular community events. They also desire more outdoor dining opportunities and comfortable sitting places on the square for impromptu conversations with neighbors.

Concepts were developed for shelterhouse enhancements that add public restrooms, a connecting walkway system, and more outdoor seating in the Town Square. Public workshop suggestions included adding a terrace on the north side of the shelterhouse for viewing bandstand performances.

Concepts were also developed to activate the building edge around the Town Square. Methods for encouraging outdoor dining were suggested in concert with a Hope Awning as a consistent element for the historic buildings around the Square.

Outdoor dining can be accommodated in as little as six feet if a clear walkway is maintained. With the opportunity for new construction on vacant lots, those projects can incorporate larger areas for potential outdoor dining.



Proposed Shelterhouse Enhancements

Shelterhouse

- Replace roof – possibly redesign
- Add restroom addition
- Outdoor terrace with movable tables/seating
- Integrate into walkway system
- Tiered seating to playground
- Service access from Harrison

Bandstand

- Backdrop of flowering trees
- ADA access from Harrison
- Tiered seating
- Removable railing on stage side

Playground

- Buffer with flowering trees
- Soften edges
- Integrate into walkway system
- Low fence

Public comments

- Add Shelterhouse terrace overlooking Bandstand
- New roof needed for Bandstand
- Existing site lighting is inadequate



Hope Awning and Outdoor Dining

The concept of the Hope Awning as a recurring, historically derived element, was well received at the public meetings. It is intended to strengthen building presence and character along the Town Square streetscape, and create protected areas for outdoor dining and gathering.

STRENGTHEN EXISTING CELEBRATIONS AND DEVELOP NEW PROGRAMS THAT ARE TRUE TO HOPE HERITAGE AND VALUES

As defined by The National Trust for Historic Preservation, “Cultural heritage tourism is traveling to experience the places, artifacts and activities that authentically represent the stories and people of the past and present. It includes cultural, historic, and natural resources.”



Existing Festivals And Celebrations

Strengthen existing celebrations by incorporating room for booths, public restrooms, and other utility needs into streetscape and Town Square renovations.



Develop Downtown Walking Tours

Encourage and support the Yellow Trail Museum as an active visitors center with associated walking tours to increase visitation and reinforce local historic knowledge. Change the tours on a regular basis to encourage visitor return and new visits. Consider a smart phone app to allow visitors to tour without a guide.

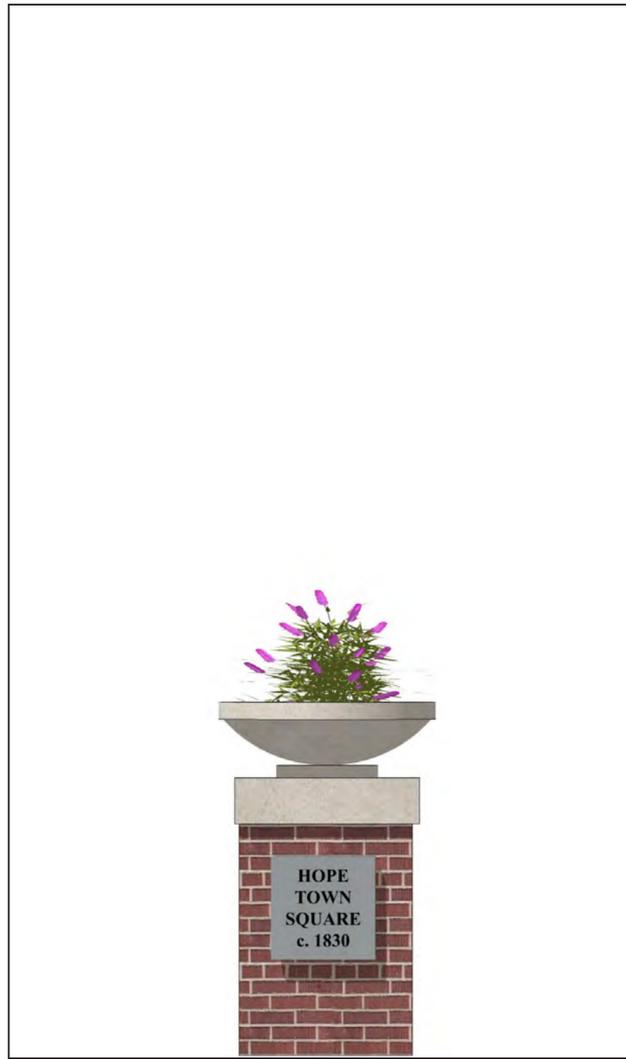


Develop Horse And Buggy Tours

As a special event, consider horse and buggy tours that travel the extent of the historic district, beyond and including downtown. The many nearby churches, unique Moravian cemetery, Simmons School, and other landmarks could be destinations. Perhaps they are coordinated with a dinner destination at a nearby farm or rural restaurant location. If possible, the Hope buggy (hack) should be used, instead of the carriage shown in the image above.

INCORPORATE HERITAGE ELEMENTS INTO THE TOWN ENVIRONMENT AND INFRASTRUCTURE

Getting the word out to the 5,000 daily travelers on SR 9 that Hope is unique and has festivals and events they may want to attend can be incremental, starting with simple candle lights, and as infrastructure improvements are made, incorporating identity and interpretive signage into new furnishings and on existing historic buildings.



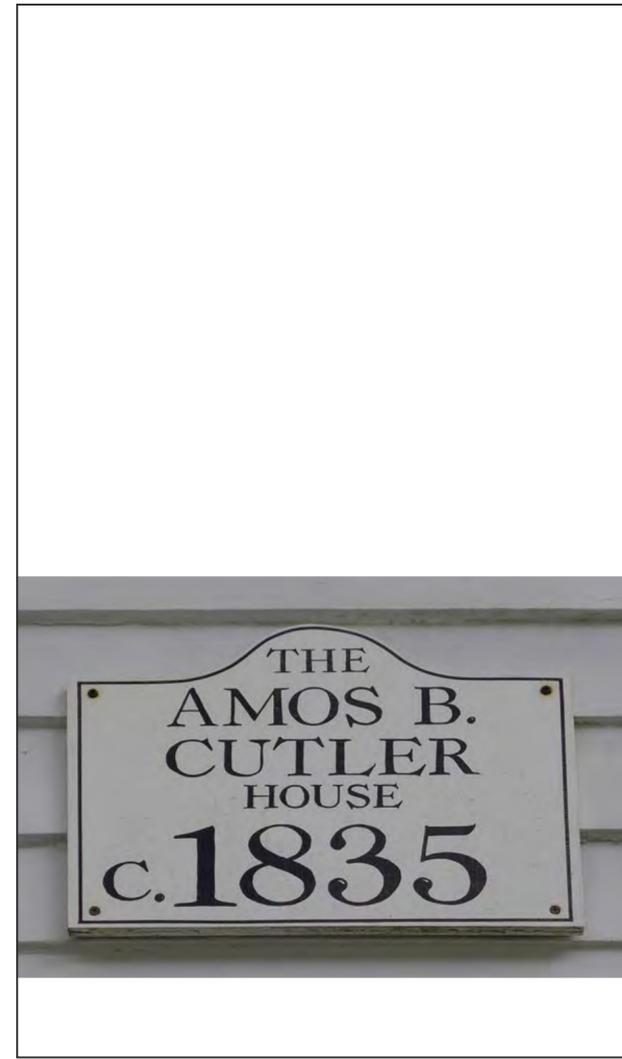
Identity Signage

Consider developing custom site furnishings like this brick pier at Town Square entrances. Include identity signage that also celebrates the year Hope was founded.



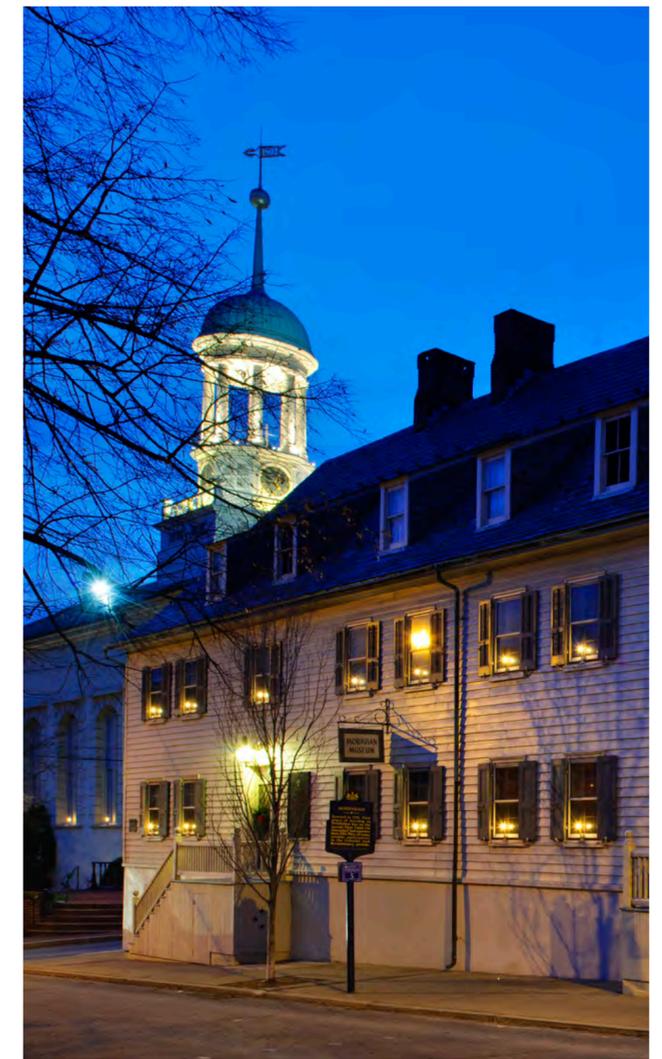
New Lighting | Banners

Consider new street lights that use the most efficient LED technology for better light output, but that reflect the traditional gas lantern used in the early 1900's in Hope. Incorporate banners that announce special Hope events and celebrations along Main Street/SR 9 to attract visitors.



Historic Building Signage

All of downtown Hope is listed in the National Register of Historic Places. Celebrate that distinction by placing commemorative signs on the historic buildings around the Square.

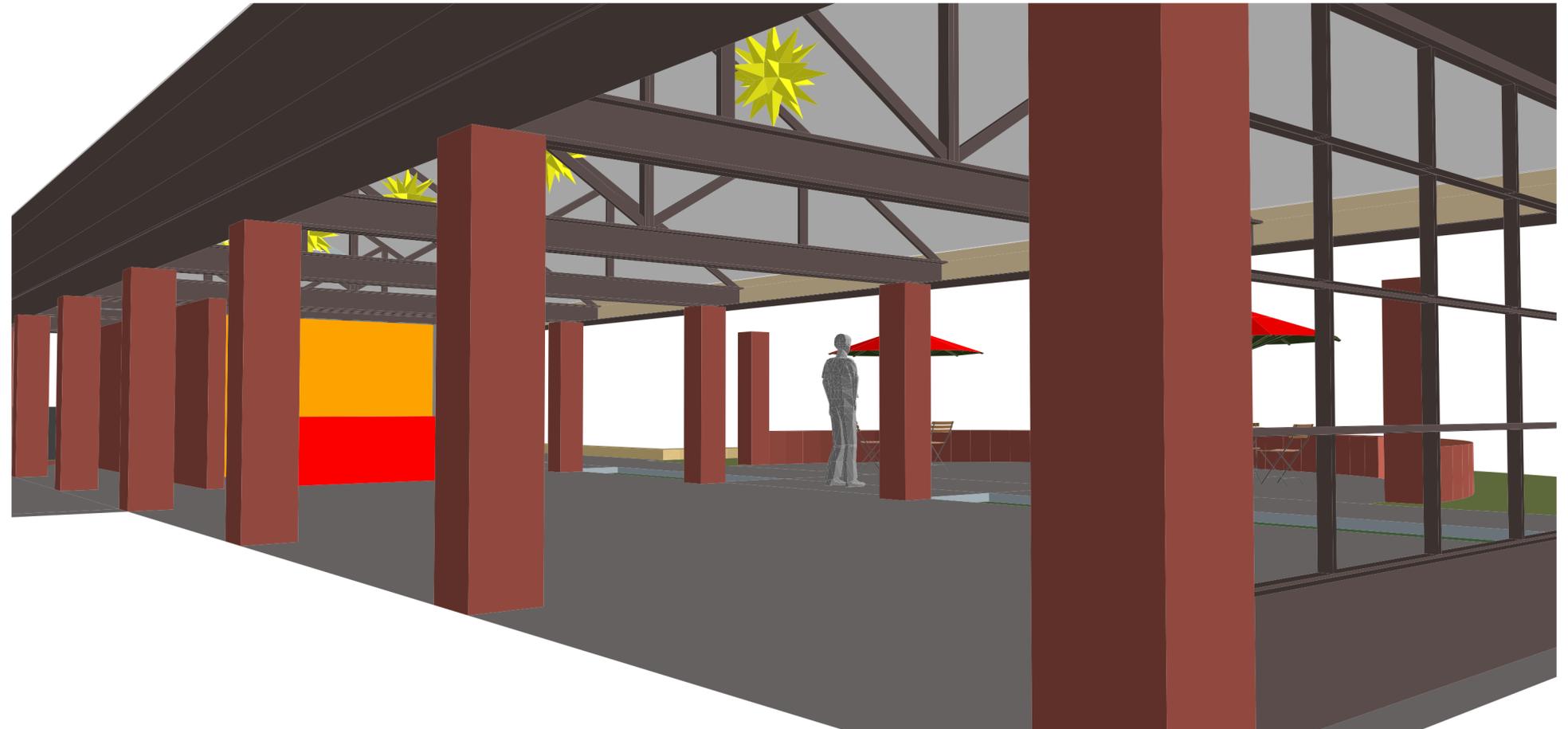


Candle Lights

In historic Bethlehem, PA many Moravian and non-Moravian buildings use single candles in their windows. A downtown Hope with candles in the upper story windows would welcome visitors and residents.

INCORPORATE HERITAGE ELEMENTS INTO THE TOWN ENVIRONMENT AND INFRASTRUCTURE

When you visit Hope today, you might realize that it has an interesting group of historic buildings. Celebrating the unique aspects of Hope heritage and making them visible will become a market differentiator. Hope can compete with other heritage communities in Indiana by celebrating its unique Moravian heritage, industrial ingenuity, farming and agricultural culture, and community celebration traditions. The following ideas show ways to incorporate those heritage elements into the town environment as renewal projects proceed.



The Hope Star

Consider using the Moravian Star as a heritage element in a renovated Shelter House roof system, similar to that shown in the image to the left from Winston-Salem (an historic Moravian district).

INCORPORATE HERITAGE ELEMENTS INTO THE TOWN ENVIRONMENT AND INFRASTRUCTURE

Main Street is Hope's front door. Providing a highly visible and distinctive front door brings awareness to Hope's activities and destinations. It creates a landmark destination on SR 9.



Concept sketch illustrating how proposed Main Street/SR 9 safety and economic development considerations address incorporation of Hope heritage into infrastructure

- Balance vehicular and pedestrian needs across all four sides of the square to restore its original purpose as the center of Hope.
- Encourage traffic passing through the Town Square to reduce speed to a level that improves both safety and awareness of Hope as an interesting place
- Improve safety for vehicles entering Main Street from Jackson and Washington Streets
- Improve safety and convenience for pedestrians crossing Main Street between Town Square and Main Street destinations such as a new visitors center
- Accommodate agricultural equipment, commercial deliveries, bicycle tour visitors and the traditional parade route along SR 9
- Create a more positive “front door” image of Hope and its Town Square attractions with event banners, improved lighting and landscape elements
- Accommodate Columbus/Hope/Hartsville bicycle tour route through downtown, with Town Square as a destination

Incorporate Heritage Elements into the Town Environment and Infrastructure

The Town Square and the frontage streets streetscape need to have a common family of elements and furnishings that relate to each other to reinforce that downtown is one place, that it is managed, and that it is cared about.



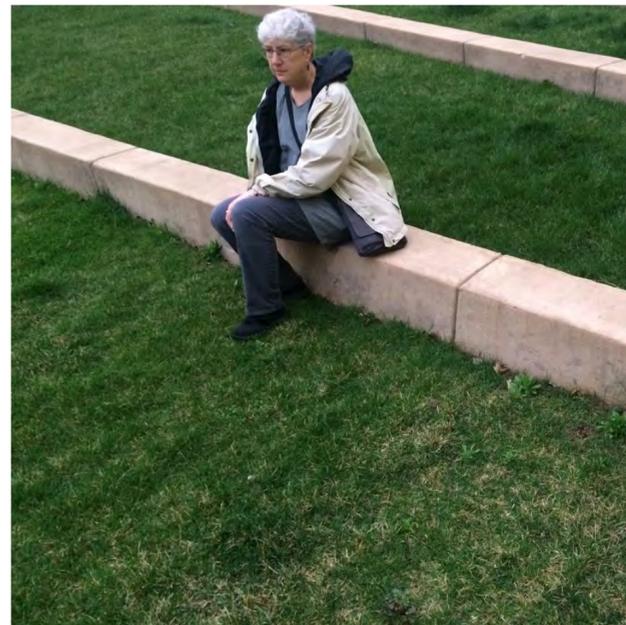
TOWN SQUARE | STREETScape FURNISHINGS

The street lights along Jackson, Harrison, Washington and Main Streets are proposed at a 16-foot height and the path lights in the Town Square are proposed to be a 10-foot height. Otherwise, they are the same fixture (LED) in a gas lamp style. The streetlight poles along Main Street have the option of carrying a banner and flower basket, or many other combinations. The trees in the Town Square vary in height, but are generally mature. It is important to establish a common height for the lower tree branches to enable people to see across the square and for the path lights to illuminate the square under the canopy branches.

All furnishings are proposed to be in a similar color (“verdun” green) as the existing commemorative clock. The proposed bench and planter are manufactured by a sister company to the clock manufacturer and are intended to be compatible.

Incorporate Heritage Elements into the Town Environment and Infrastructure

Main Street is Hope's front door. Providing a highly visible and distinctive front door brings awareness to Hope's activities and destinations. It creates a landmark destination on SR 9.



Landscape Palette

The landscape palette should be floriferous yet manageable. Shown above are two streetscapes that SKA designed with low-maintenance plantings. True, landscapes are not maintenance free, but they can be designed with enough density that they establish quickly to minimize weeds.

Details

The streetprint crosswalk, shown in the top photo, illustrates the character of the proposed mid-block crossings to the Town Square from the surrounding streets. The bottom photo shows a terraced seat wall. A similar detail could be used for the bandstand and playground terraced seating in the Town Square.

Playground Fence And Landscape Enhancements

Shown above is a photo of historic Garfield Park in Indianapolis, IN. The low fence has openings with bollard posts. The historic character of the fence blends into the historic park to create a safe environment. The flowering trees ring the playground to integrate the equipment and play area into the landscape. The design details shown above are recommended to be incorporated into playground modifications in the Hope Town Square.

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Chapter 4

Town Square Opportunities

31 The Town Square is Hope's most important community asset

32 The Hope Urban Forest: Context for Town Square Improvements

33 Town Square Renewal Recommendations Map

34 Town Square Lighting Map

THE TOWN SQUARE IS HOPE'S MOST IMPORTANT COMMUNITY ASSET

The Town Square is the center of Hope as it's defining image, representing it's heritage and history; and as a symbol of Hope's future. The original founders' foresight to intentionally incorporate a community gathering place into the town's layout has provided a strong framework for economic revitalization.

Most communities seek to retrofit their downtowns to create similar gathering spaces to Hope's Town Square. And, they can spend millions to do it. What's significant about Hope's Town Square is that it is still serving it's original purpose of being a gathering place. It is the stage for public interaction, where friends run into each other and where people mix. It has created a strong sense of community for the residents of Hope.

How can an enhanced Town Square become the driver for an economically revitalized Hope? Consciously recognizing it as a unique asset and marketing it to the region can serve to attract new populations to Hope. The intention of these Town Square renewal recommendations are to:

- 1 Improve the quality of the Town Square's infrastructure so that use is extended through all seasons.
- 2 Ensure that improvements are multi-purpose to meet the needs of multiple user groups: gatherings for events and celebrations; vs. individuals or families seeking to use the playground or have a picnic; vs. businesses that market the square as an asset to their activities.
- 3 Weave Hope's culture and identity into each individual improvement so that investment adds value that is unique to Hope.

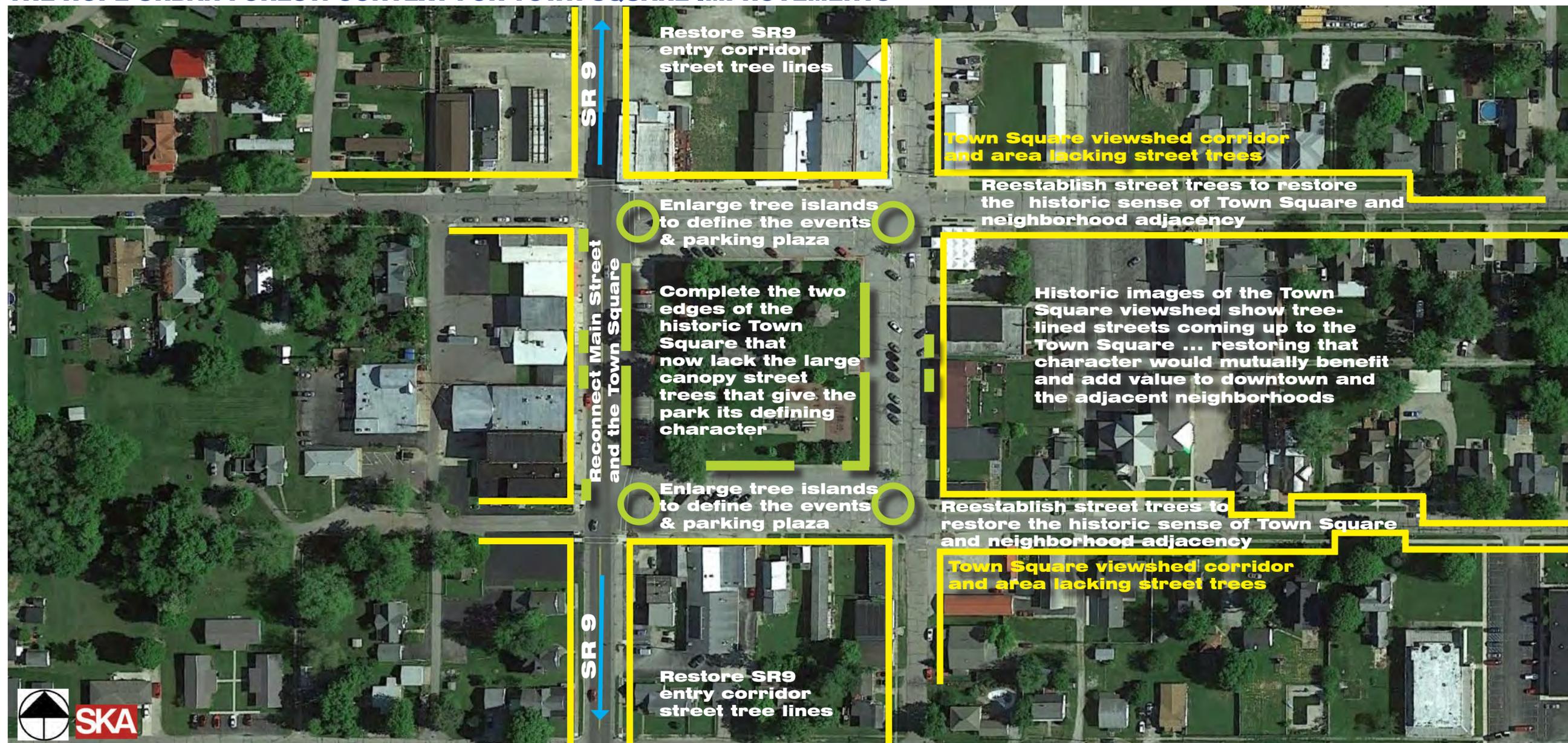
The Town Square has been well-used and loved to the point of approaching clutter but still has its basic structure and wonderful, mature presence of native trees and their spreading canopies. Public comments provided direction on how to organize its many functions and physical elements in a coherent way that gives up nothing of its essential character and function.

Unifying the discordant architectural styles of the bandstand and shelterhouse with sensitive site and landscape enhancements is cost effective. Choosing furnishings that symbolize or celebrate Hope's past while achieving a contemporary function ensure the Town Square can meet future needs.

This chapter describes a range of investment options, and the overall plan is ambitious. Some recommendations may have to be deferred until financing is found. But that is okay. Each recommendation can be tackled as an individual project, and if done thoughtfully, the sum of the individual projects will work together to create an enhanced whole.

The recommendations in this chapter are organized to start with an overall view of the Town Square setting and proceeds to specific recommendations.

THE HOPE URBAN FOREST: CONTEXT FOR TOWN SQUARE IMPROVEMENTS



The Hope urban forest distinguishes the town as a settlement within an expansive agricultural region. Historically, tree-shaded residential streets led into the commercial area centered on the Town Square. The square was intensively planted as relief from the commercial district's very wide horse and buggy-friendly streets.

Over time, and often unnoticed because of their incremental nature, road widening tree removals, root damage caused by underground utility trenching, and periods of inattention to the founders' town-building principles have caused a substantial loss of tree canopy leading into and within downtown. The result: a loss of the visual effect of tree masses and tree rows that had provided connectivity, character and value to downtown, and a mitigation of the microclimate impacts caused by the heat and glare of downtown pavement and rooftops.

Some opportunities to mitigate those impacts appear in greater detail in the following Town Square Renewal Recommendations Map.

Establishment of urban forest maintenance and sustainability mechanisms is recommended for care and management of the urban forest in downtown Hope and its viewsheds into the adjoining neighborhoods.

An urban forest action plan for trees in the public right-of-way and an organized approach will position the Town to seek available grants for tree planting and maintenance. An important part of urban forest action plan is public education regarding the value and care of this important community resource.

TOWN SQUARE RENEWAL RECOMMENDATIONS MAP

1
A curvilinear pathway system provides accessibility and engagement with key Town Square elements, and connecting with new entrances at corners and mid-block crossings.

2
New park entrances at mid-block crossings framed by brick piers with identity signage.

3
Bandstand renewal and new setting may include replacing the roof, providing terraced seating, and developing improvements to facilitate performances.

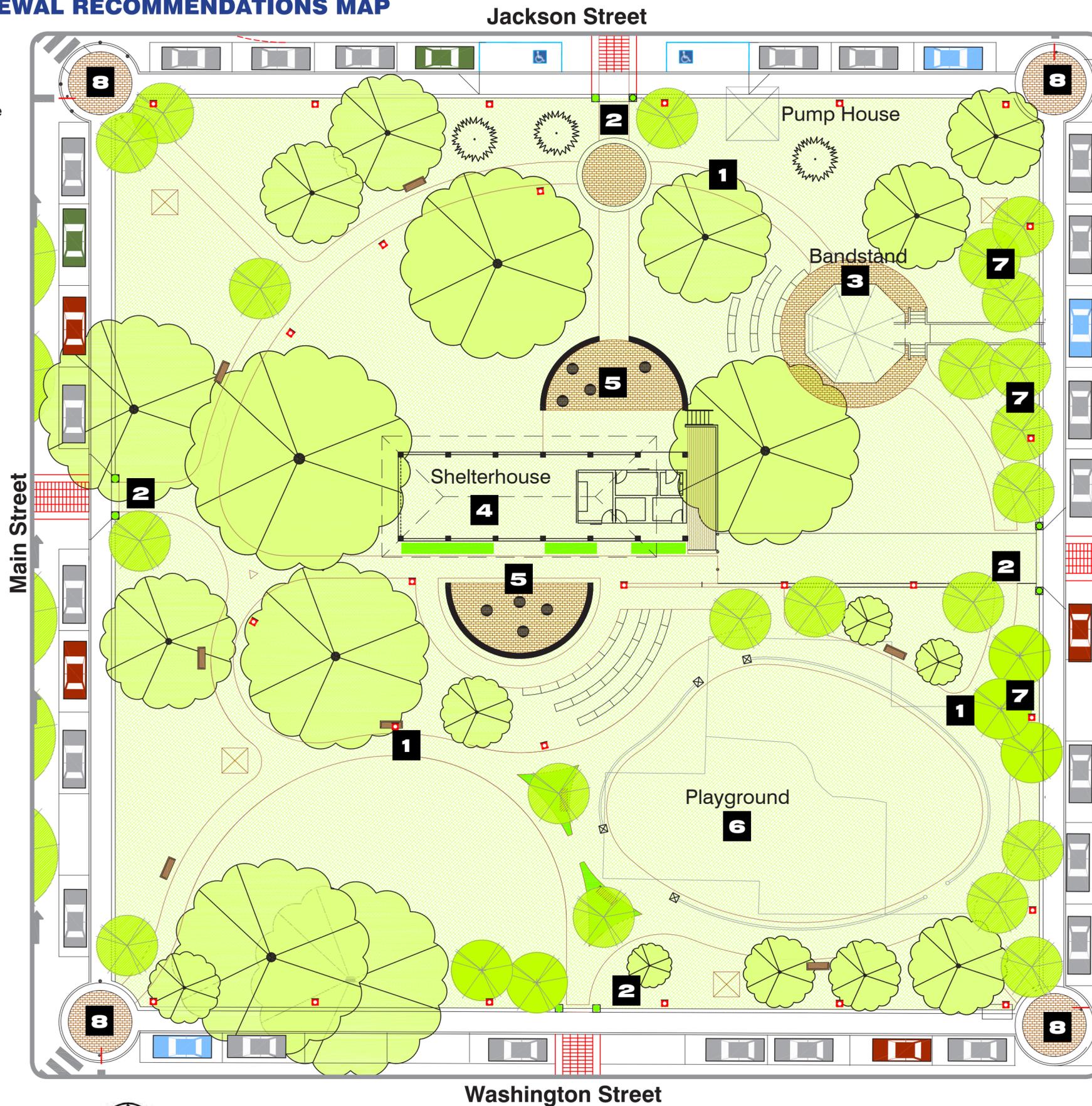
4
Shelterhouse renewal may include new roof with interior Hope star fixtures, public restroom addition, and weather protection on west wall.

5
New Shelterhouse terraces with moveable tables and chairs, and terraced seating overlooking the playground are proposed.

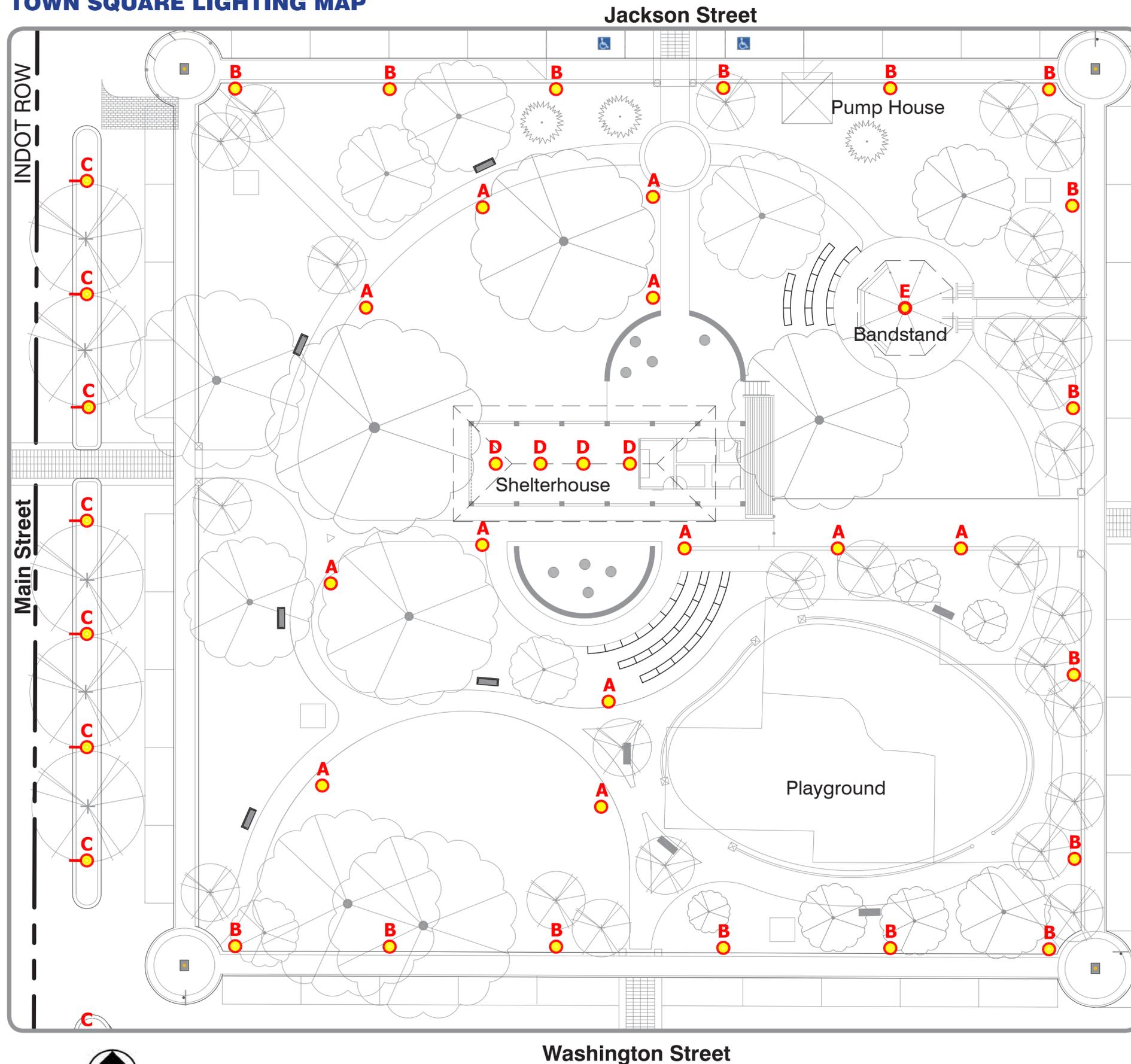
6
Playground setting is proposed to be softened and integrated into pathway system. A low fence with openings is proposed to minimize children potentially running into the street, while allowing access to the open green spaces in the Town Square.

7
Flowering trees provide a backdrop and visual buffer for the bandstand and playground from parking on Harrison Street.

8
Corner plazas provide access to the Town Square pathway system, and can potentially establish a line of bollards (recalling the historic hitching rail) along the sidewalk edge.



TOWN SQUARE LIGHTING MAP



Introduction

The existing system lighting, installed in 1992, is obsolete. Lamp type and output is inefficient with light levels perceived to be inadequate for safety in some areas. Upgrading the system for safety as well as appearance is recommended, utilizing LED fixtures and sturdier poles.

Recommended Fixtures

Type A

Ten-foot tall gas lamp style fixture along the Town Square path system. The ten-foot height is pedestrian scaled, and generally places the fixture underneath the branching height of existing trees reducing shadow.

Type B

Sixteen-foot tall gas lamp style fixtures with high wattage along the eighty-foot wide parking court edges result in balanced illumination.

Type C

Similar to the Type B fixture, with the addition of banner and flower basket arms for the SR 9/Main Street front door identity and messaging.

Type D

The Hope Star placed within the renovated shelterhouse's raised ceilings.

Type E

Bandstand illumination to showcase this heritage element and the adjacent space.



Chapter 5

Public Space Safety, Walkability & Streetscape

35 Introduction | Safety | Walkability | Physical Framework | Parking

36 Existing SR 9/Main Street Condition Map Enlargement

37 Proposed SR 9/Main Street Safety Map Enlargement

38 Proposed Main Street District & Streetscape Map

39 Proposed Main Street District Furnishings & Streetscape Character

40 Proposed Main Street District Infrastructure Plan

INTRODUCTION

The attractiveness of downtown Hope to visitors from the community and the region (and beyond) is dependent on the synergy of many elements. That synergy is fueled by the elements being interconnected both visually and by walkable access. Walkability is defined by a motivating attractiveness and the perceived safety of the experience. A successful and vital pedestrian district encourages visitors to park once anywhere downtown and walk to multiple destinations and attractions.

SAFETY: FOR VEHICLES, PEDESTRIANS AND BICYCLISTS

Three of the four Town Square's frontage streets share similar spatial and traffic characteristics conducive to walkability: local traffic, slow vehicular speed (estimated 15-20 mph) and stop signs at intersections that encourage eye contact and negotiation between motorists and pedestrians. With the exception of Main Street, the wide streets bordered by wide sidewalks function more as parking lots than through streets, and they work reasonably well.

The fourth side of the square along Main Street/State Road 9 is markedly different. While the same width as Jackson, Harrison and Washington Streets, it serves 80% through-traffic at 30 mph posted speed (30.5 mph 85th percentile average speed). That through-traffic across the approximately 400 foot-long Town Square distance is not tempered by any intersection traffic controls other than speed limit signage. Overall volume is not high but there is significant truck traffic (100 vehicles per day +/-) including tri-axles serving nearby aggregate mining sites and tractor-trailers including grain trucks. It should be noted that typical single-unit and tractor-trailer trucks traveling at the 30 mph (44 feet per second) legal speed limit take about 78 feet to stop under controlled test conditions (undistracted/unimpaired reaction time).

That data infers a safety issue affecting walkability between 75% of the district and the west side of Main Street. Issues include the long unprotected crosswalk distance and the volume and speed of the more regional traffic that moves through the district without pause.

In addition to pedestrian safety as a walkability factor, SR 9/Main Street has apparent vehicular safety issues. Those include substandard sight lines (stopping sight distance) for vehicles turning from Jackson Street onto southbound Main Street or crossing Main Street. Vehicles parking along the west side of Main Street have similar issues entering the uninterrupted traffic stream. Vehicles parked along the east side of Main Street generally enjoy convenient access to perpendicular parking spaces but can experience a safety issue in backing out, since the available width before trespassing into the unstriped northbound travel lane is deficient by several feet.

These have not been universally perceived as serious issues, given the relatively low overall traffic volumes. They do constitute constraints, however, on the town's desire that its Town Square district become a more active community focal point, regional center and cultural tourism destination.

WALKABILITY: THE FIRST PRINCIPLE OF REVITALIZATION

The attractiveness of downtown Hope to visitors from the community and the region (and beyond) is dependent on the synergy of many elements. That synergy is fueled by the elements being interconnected both visually and by walkable access. *Walkability* is defined by a motivating attractiveness, comfort and safety of the experience. A successful and vital pedestrian district encourages visitors to park once anywhere downtown and walk to multiple destinations and attractions.

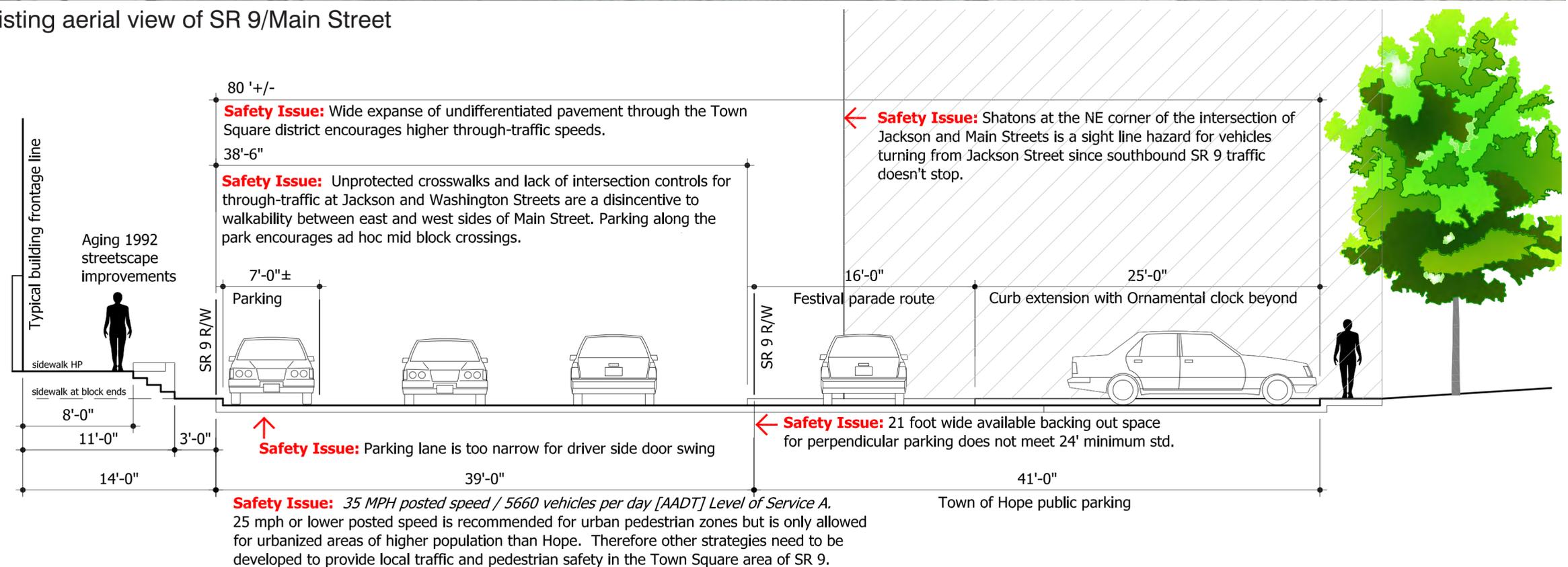
TOWN SQUARE PARKING AND EVENTS COURTS

The following pages also discuss the three local streets fronting the Town Square as a unique system of circulation, parking, and events-staging. They have great potential for shaping and conveying a positive image of Hope and for contributing to its economic vitality. Parking, lighting concepts and streetscape amenities are integral parts of the recommendations.

EXISTING SR 9/MAIN STREET CONDITION MAP ENLARGEMENT

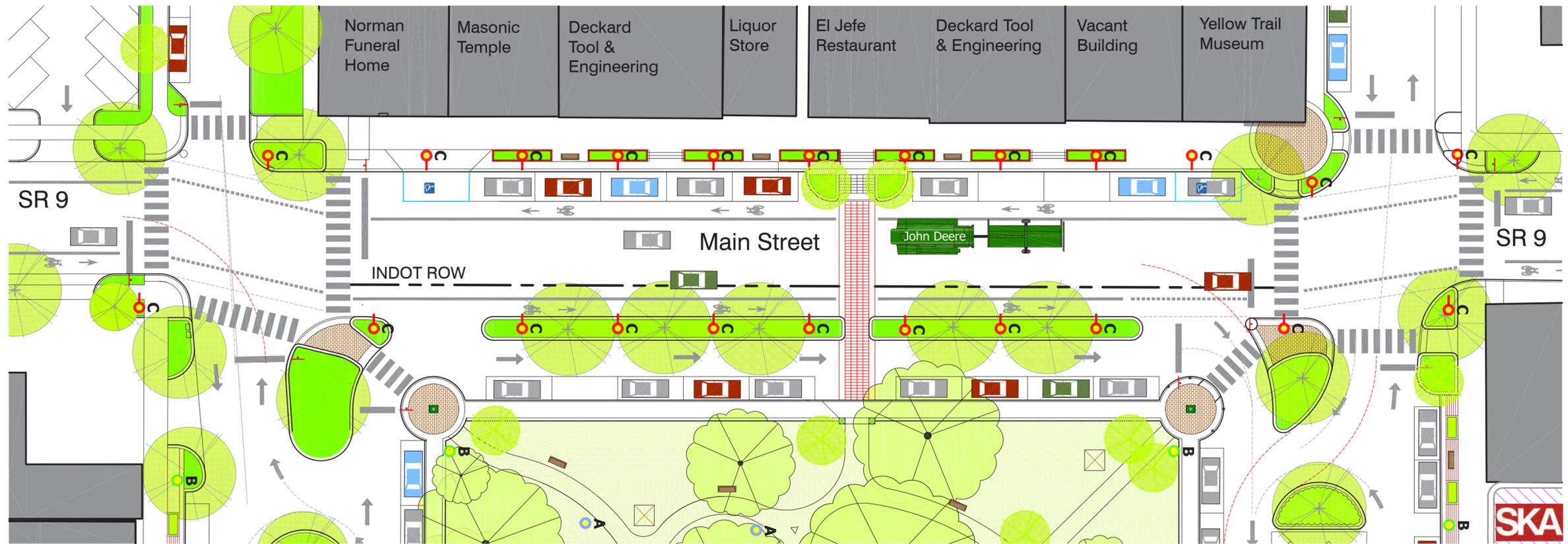


Existing aerial view of SR 9/Main Street



Existing SR 9/Main Street cross section

PROPOSED SR 9/MAIN STREET SAFETY MAP ENLARGEMENT



Proposed SR 9/Main Street Plan Enlargement



| | | | | | | | | |
|------------------|--------------|-----------|-----------------------------|-----------------------------|-----------|--------------|----------------------------|---|
| 10' parking lane | 5' bike lane | 2' buffer | 12'+ southbound travel lane | 12'+ northbound travel lane | 2' buffer | 5' bike lane | 8' median/crosswalk refuge | 20' access and parallel parking lane adjacent to Town Square sidewalk |
|------------------|--------------|-----------|-----------------------------|-----------------------------|-----------|--------------|----------------------------|---|

Proposed SR 9/Main Street Cross Section at Crosswalk

PROPOSED MAIN STREET DISTRICT & STREETScape MAP

1 Partner with INDOT to improve Main Street/SR9 safety, local traffic accessibility, bicycle lanes, and pedestrian walkability, while accommodating farm vehicles and Hope's traditional parade route.

2 Reorganize SR9 travel lanes for safer parking, shorter crosswalk distance, bicycle accommodation, and space for historic lighting and street trees.

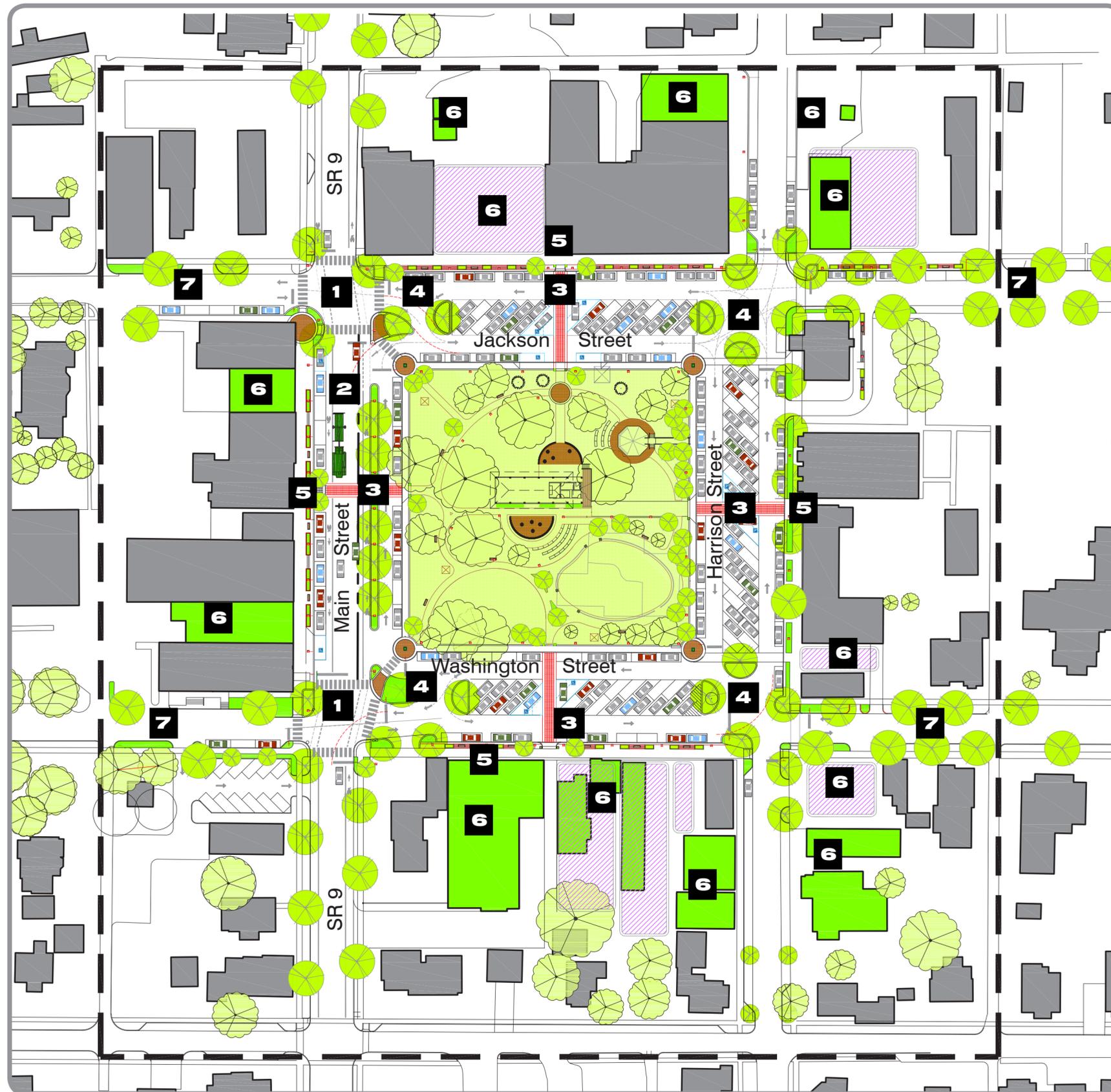
3 Create protected mid-block crosswalks between all four business blocks and the park's proposed path system.

4 Improve parking areas for clearer circulation pattern, intersection safety, parking efficiency and improved community Heritage Days staging and experience. Consider consistent parallel curbside parking.

5 Enhance visitor experience and Town Square image with improved lighting and banners, pockets for trees, flowers, benches and furnishings that reflect Hope heritage and culture; create a common expression along all four blocks fronting the Square.

6 Partner with property owners of vacant or underutilized sites to identify appropriate development opportunities that provide a mix of retail, services and housing in the Town Square district for improved visitor appeal and economic performance.

7 Restore the tree canopy that once lined adjacent neighborhood streets leading into the town square.



- Parcel Development Opportunity
- Building Adaptive Reuse Opportunity

Note: See Chapter 4 for Town Square considerations.

PROPOSED MAIN STREET DISTRICT FURNISHINGS & STREETScape CHARACTER



Main Street is envisioned to complete the fourth side of the Town Square as Hope's front door



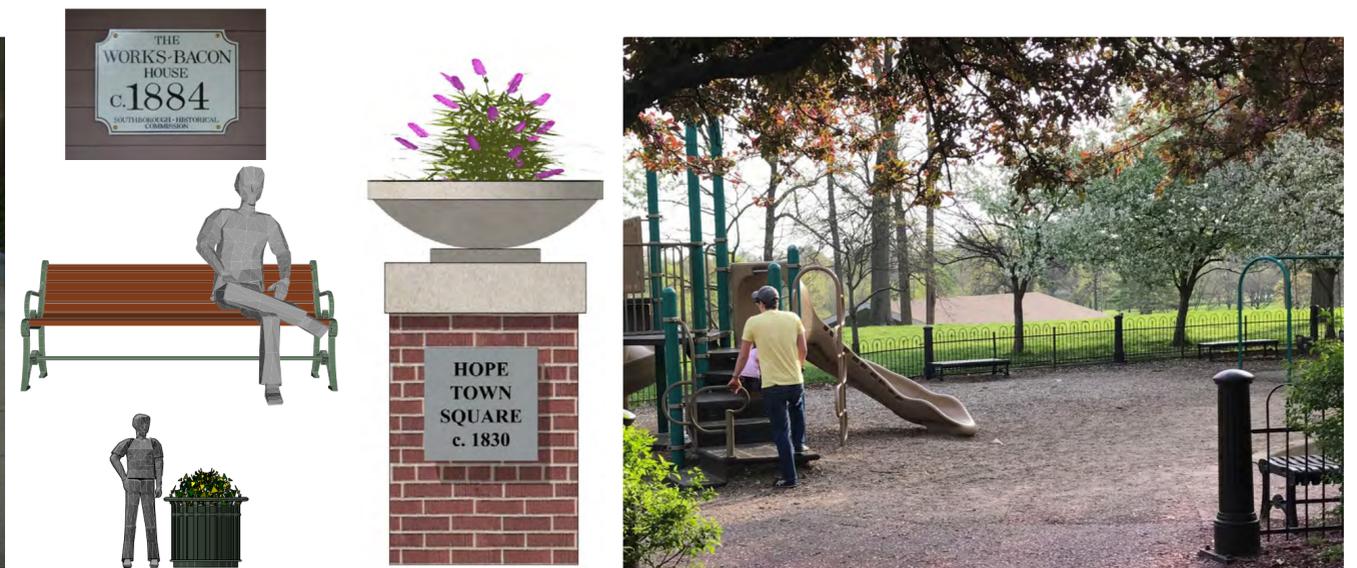
Curvilinear path, playground, shelterhouse and bandstand enhancements



Shelterhouse enhancements provide multi-season usage, new restrooms

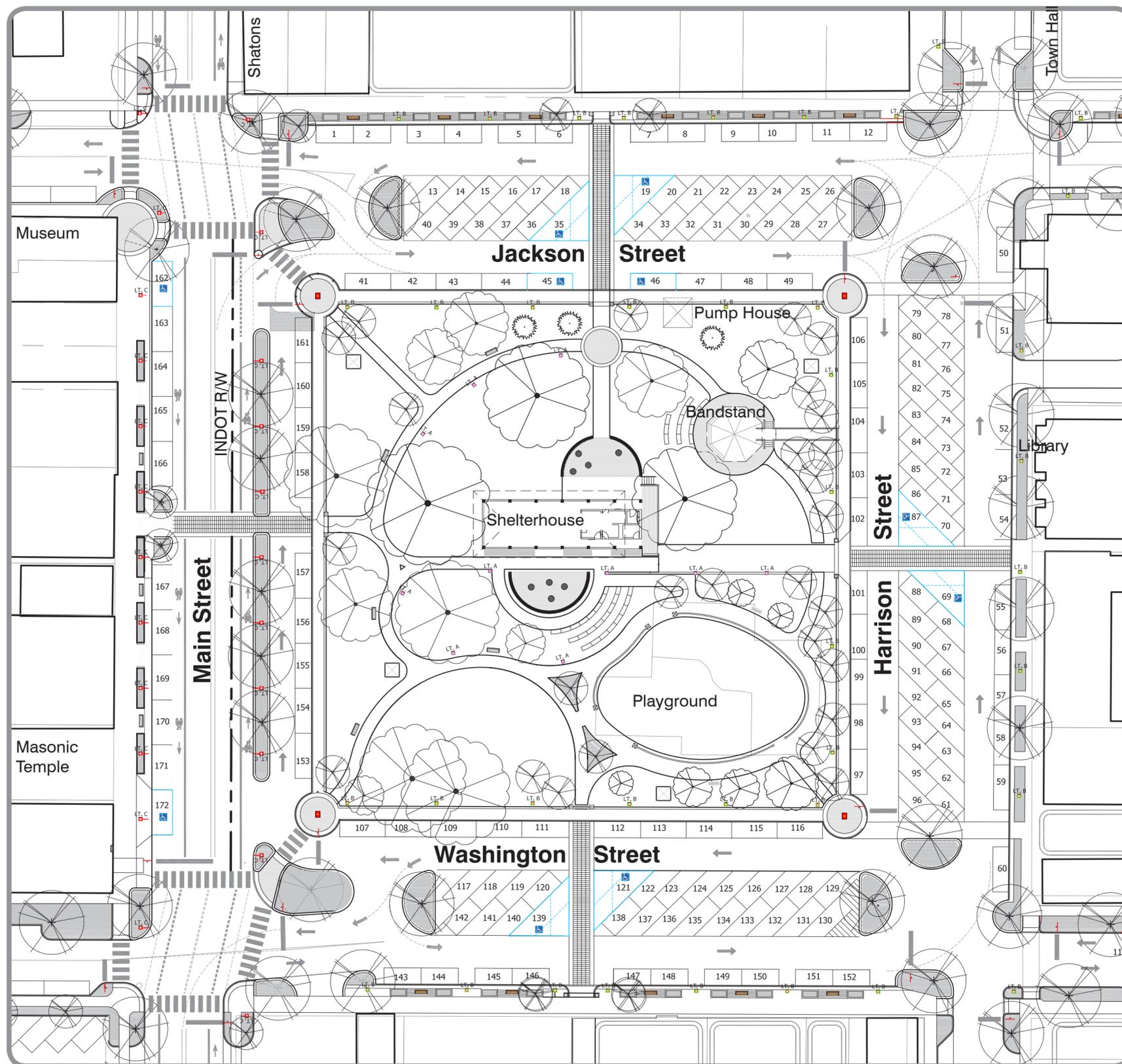


Streetscape elements that reflect Hope's culture and heritage



Town Square Park elements create a sense of place

PROPOSED MAIN STREET DISTRICT INFRASTRUCTURE PLAN



Parking Count
(not including side streets)

Existing Total = 174 spaces
Reconfigured Total = 172 spaces

Jackson Street Parking Court
52 existing | 49 proposed

Harrison Street Parking Court
51 existing | 57 proposed

Washington Street Parking Court
42 existing | 46 proposed

Main Street Parking
39 existing | 20 proposed



Parking

Parallel parking is recommended along the Town Square frontage blocks around the Town Square. That pattern is less obstructing of sidewalk space than the current diagonal parking and aligns the frontage block travel lane with the adjacent street extensions. The curbside parking also allows easier sidewalk access from the center parking bays.

Diagonal parking occurs in the middle of the parking courts for easier circulating turns and to better orient the parking to the one-way street pattern.

The central, double-stacked diagonal parking can be used by longer vehicles and allows the creation of larger planting islands at the ends.

This more easily understood parking and circulation pattern results in a nearly equivalent parking yield while achieving safer travel movements.

The permanent reconfiguration should coordinate with milling and resurfacing of the streets preceded by any necessary underground utility rehabilitation. Note that a force main has already been installed under Harrison Street to serve the Shelterhouse.

Crosswalks

The principal crosswalks to the Town Square are proposed to occur mid-block rather than at the corners with their multiple turning conflicts. They align with the proposed Town Square path system. Flexible accessible parking spaces occur at the crosswalks.

Intersection Controls

Existing stop signs are proposed to be relocated into curb bumpouts that buffer parking, channel circulation, and provide landscape opportunities. The proposed reconfiguration of SR 9 allows placement for either stop signs or signals, depending on the results of current traffic studies.

Chapter 6

Design Guidelines

- 41 Period of Significance for Downtown Hope: c.1830-1998
- 42 Block Level Building Design Guidelines: General Opportunities
- 45 General Guidelines on Historic Structure Maintenance

- 52 New Construction Guidelines for Infill and/or Adaptive Reuse Projects
- 54 Secretary of the Interior’s Standards for Rehabilitation
- 55 Site Improvement and Urban Forest Guidelines
- 57 Key Building Guidelines



The REO Motor Car shown in the lower right of this historic photo dates it to around 1906. On the right is the west side of Town Square (Main Street) looking south to the T. E. Reed grocery store on Washington Street, where the Corner Cafe is now located.¹

¹ "Hope, Indiana Sesquicentennial 1830 - 1980", page 12.



Spaugh's Garage is shown here around 1915.¹ Many of the storefront details are largely intact to this day.

¹ "Hope, Indiana Sesquicentennial 1830 - 1980", page 9.

THE PERIOD OF SIGNIFICANCE FOR DOWNTOWN HOPE: C.1830-1998

The National Register Nomination for the Hope Historic District established its period of significance as 1830-1998.

According to the National Register Nomination, most of the buildings contributing to the historic district around the Town Square were constructed between 1880-1920, though some were constructed earlier. Two architecturally significant buildings fall outside the period of significance: The former Irwin Union Bank building (Harry Weese Associates, 1958) and the Hope Branch of the Bartholomew County Library (Deborah Berke Associates, 1998).

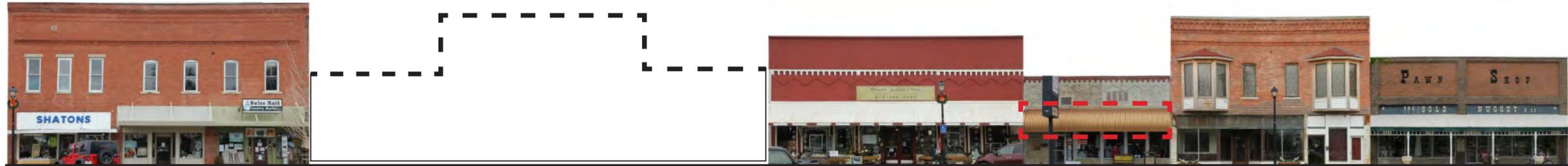
The 1896 Sanborn Fire Insurance Map showed that nearly all of the area surrounding the Town Square was in use for commercial purposes. Typical for its time, Hope was a small, regional market town, and the square supported grocery stores, a meat market, drug stores, barber shops, hardware stores, a bank, an undertaker, livery stables, lodge halls, and an opera house. The livery stables have been replaced by garages and gas stations, and the opera house is no longer in use.

In the early 20th century, access to modernized transportation systems was making huge changes in Indiana. Rail and interurban systems were expanding rapidly. The advent of the automobile in this time had a dramatic impact on Hope, which was on the forefront of attracting the pleasure driver. Elda Spaugh opened a filling station and garage in Hope about 1915, attracting drivers by marking telephone poles with yellow bands as a means of finding the route to his station.

Most of the commercial buildings around the Town Square are brick and are one to two stories in height. The Masonic Temple is the only structure that is three stories tall. Many of the historic buildings have arched windows, typical of Moravian culture.

BLOCK LEVEL BUILDING DESIGN GUIDELINES: GENERAL OPPORTUNITIES

Jackson Street



Consider refinishing/repainting east facade of building because of exposure to the vacant lot. Consider restoring ground floor storefronts and developing second story residential or office.

Vacant Lot - originally accommodated up to three buildings. See page 52 for new construction guidelines. Mixed use development opportunity for offices or residential above street level retail.

Original storefront is largely intact. Consider developing outdoor seating opportunities.

Consider repainting, restoring storefront, replacing awning.

Building currently undergoing an informed restoration.

Consider storefront restoration and removal of cloth drape on awning.

Main Street



Consider restoring traditional storefront windows and replacing the awning.

Investigate underlying material. Consider restoring traditional storefront.

See 59 for building facade and adaptive reuse considerations.

Consider repainting building and protecting metal finish on awning. Consider restoring traditional storefront.

Consider replacing storefront consistent with historic examples elsewhere on the square.

Consider replacing storefront and awning consistent with historic examples elsewhere on the square. Consider outdoor dining opportunities.

Facade renovation was generally sensitive, but restoration to original design would require replacing sash and doors. Consider installing awning.

Original storefront largely intact and awning is appropriate. Consider general repairs and painting.

Facade restoration is sensitive. Consider installing awning.

BLOCK LEVEL BUILDING DESIGN GUIDELINES: GENERAL OPPORTUNITIES

Washington Street

| | | | | | |
|--|---|--|--|--|---|
| | | | | | |
| <p>Clean, simple building Would benefit from installation of Hope awning and traditional signage. See page 60 for detailed discussion.</p> | <p>Vacant lot and multifamily housing under same ownership. See page 52 for new construction guidelines. Mixed use development opportunity to fill a gap on this block.</p> | <p>Research whether building is an historic building or modern structure. Develop rehabilitation plan based on research outcome.</p> | <p>c.1890 single family residence is largely intact. Consider appropriate repair and rehabilitation.</p> | <p>Sensitively maintained. Consider connecting the former NAPA building in back to the Town Square at one or more of the historic Spaugh's Garage entries to reactivate the space. Consider restoration of the original doors and traditional storefronts.</p> | <p>Consider general repair, painting, and window replacement.</p> |

Harrison Street

| | | | | | | |
|--|--------------------------|---|---|--|---|--|
| | | | | | | |
| <p>Significant work of modern architecture. Existing design features should be valued and protected.</p> | <p>Pharmacy Driveway</p> | <p>New construction that is sensitive to historic context</p> | <p>Sensitively maintained. Consider incorporating traditional signage into lower edge of existing awning.</p> | <p>Would benefit from installation of Hope awning and traditional signage.</p> | <p>Consider infill building opportunity</p> | <p>Would benefit from installation of Hope awning and traditional signage.</p> |

BLOCK LEVEL BUILDING DESIGN GUIDELINES: GENERAL OPPORTUNITIES



Awning Plan

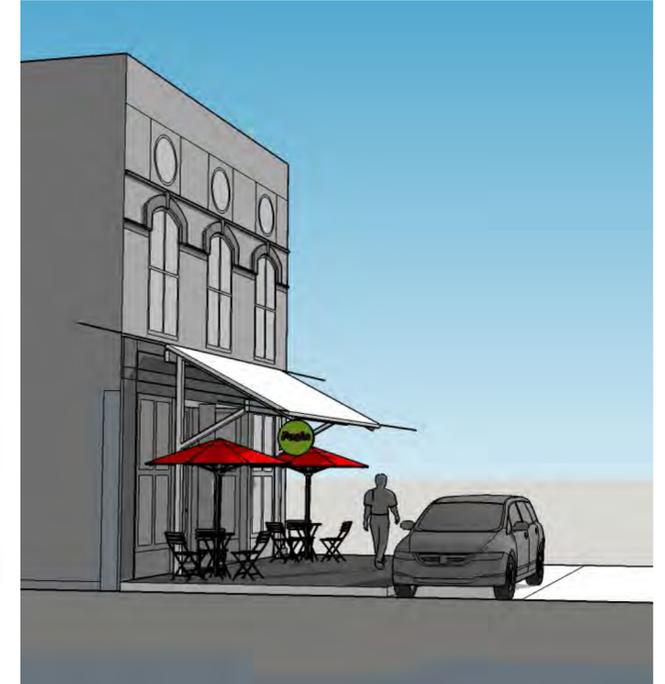
- LEGEND**
- EXISTING CANOPY
 - POTENTIAL CANOPY LOCATION
 - FUTURE CANOPY LOCATION
 - CANOPY NOT RECOMMENDED



Traditional Awning

Many of the historic buildings in downtown Hope utilize a simple metal awning derived from historic examples that reflects the practical, thrifty character of Hope property owners. It is recommended that this awning type be encouraged, and over time replace other types of awnings on the Square as they reach the end of their useful life, per the Awning Plan to the left.

To encourage property owners to use this element, consider developing an incentive program that pays a share of installation cost. An MOU outlining design and installation parameters, signage guidelines and maintenance responsibilities will ensure effective use of this relatively low cost and easily implemented recurring design element.



Proposed Hope Awning

The Hope Awning can unify the streetscape around the Town Square, and attract potential customers with appropriate pedestrian-scaled signage. By contrast, a confused, poorly designed or placed sign or awning can overwhelm a building, detract from the streetscape and/or damage the historic building materials or finishes. A well designed sign or awning can:

- Identify the unique qualities of a business
- Provide variety and vitality to the streetscape
- Create a visual connection between the building and the surrounding businesses around the Town Square.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Main Street Photo from the National Register Nomination for the Hope Historic District, Downtown Hope

The Hope Town Square is listed on the National Register of Historic Places, which recognizes the area's cultural importance and significance as an example of urban design. This listing protects resources in the District from projects that involve State or Federal funds, but does not impose design or preservation standards. These standards must be enacted on a local basis through adoption of a historic preservation ordinance. In Indiana, Bartholomew is one of the few counties in which no government, including Hope, has taken such a step.

When approaching the renovation of an existing building, or the design of a new building in an existing context, we recommend that the first thought be "Do no harm." By that we mean that the existing building or context should be observed, understood, and the new work be designed to be compatible with it. These considerations are both aesthetic and practical. The second important consideration is that buildings exist over very long periods of time, and decisions have to be made with a thought to their impact 20, 50 or 100 years in the future. This affects decisions about materials, methods, and practical considerations.

The first step of a renovation project should be to understand the original design. A building is designed with a certain sense of order, proportion, materials, and aesthetic. It may also have been altered over the years. Some alterations may be inappropriate, but it's not unusual for an alteration to have significance in its own right (the sidewalk canopy on many buildings facing the square is an example of this). Developing an understanding of the original design, then, serves as a guide to making design decisions that are harmonious, rather than in conflict with the original design.

It is with this in mind that we have developed the following outline recommendations, which are based on the Secretary of the Interior's Standards for Rehabilitation. These standards were developed about 50 years ago by the National Parks Service. They have stood the test of time as they have been applied to all Federal endeavors since and are the foundation for state and local Historic Preservation guidelines throughout the country. The full text of the guidelines follows this section.

How to Use the Guidelines

The guidelines are not meant to restrict creativity, but to set up a framework within which sympathetic design can occur. It should be noted that within an appropriate framework, there can be many different design solutions that may be appropriate. Consequently people may hold a wide range of opinions about the resultant designs since those designs are largely a factor of the designer's ability.

The guidelines are not mandatory, though it is recommended that they be used for any new projects in downtown Hope. If financial support or grant funding is utilized for a private project, it is recommended that the percentage of the funding request be approved in relationship to the percentage of design guidelines the project meets, but not dictate the final outcome.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Figure 1: Extensive masonry deterioration caused by leaking coping and parapets.



Figure 2: Brick and stone damage caused by sandblasting.

Materials

A common difficulty for the owner of a historic building is the amount of maintenance required. The temptation is to replace or cover materials with new material in order to reduce maintenance. Although this may work in the short term, the change is often a deferral of work that will be significantly more expensive in the long run.

Original exterior building materials should be retained whenever possible. Replacements, if necessary, should be selected with care, considering appearance, maintenance and long-term repair.

Wood

Maintain wood materials through repair, cleaning and painting. Proper preparation, keeping wood dry, and preventing moisture and water vapor from affecting the wood greatly increases the life of a paint finish. Redwood, Western Cedar and Yellow Poplar are preferred species for exterior use. Pine should be avoided because it rots easily and holds paint poorly.

Covering wood siding with vinyl or aluminum siding should be avoided, not least because it greatly alters the appearance of a building. In addition, covering the siding hides surfaces you need to see in order to keep an eye on the "health" of a building. Failing paint, and rot often are caused by conditions inside the building, and siding may prevent the owner from seeing these indicators until repairs become very costly.

Masonry

The primary foe of masonry structures is moisture infiltration.

Copings and parapets must be inspected and kept weathertight: they

are common places for water to enter a masonry wall. It will then wick down through the wall, damaging brick, mortar and interior plaster.

Tuckpointing, when necessary, should be done with proper methods and mortar that is compatible with the hardness of the brick. Match the composition, color, texture and profile of the original joints, taking care not to leave mortar on the faces of adjacent brick.

Brick masonry must never be sandblasted, as sandblasting permanently removes an important weather-resistant layer of the brick, often hastening its deterioration.

Clean masonry with the gentlest method possible, such as low pressure water and soft brushes rather than harsh chemicals or other aggressive methods.

Removing paint from masonry should be done only after very careful consideration, as appropriate paint removal methods are extremely costly and less-expensive methods can permanently damage the masonry.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS

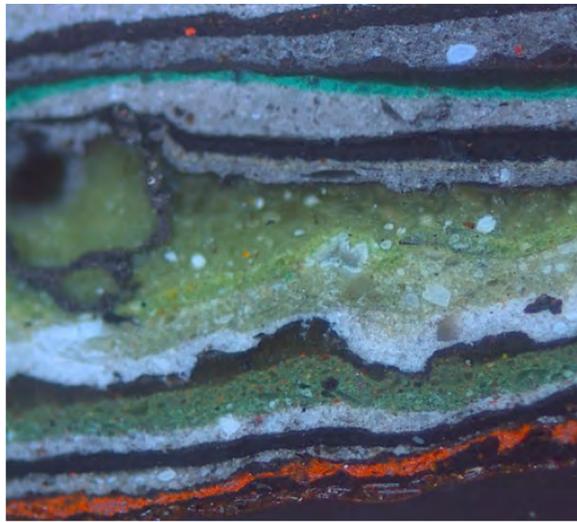


Figure 3: Cross section of paint layers showing colors over time.



Figure 4: A paint palette based on compatibility with a slate roof delineates architectural features.

Stucco

Maintain by cleaning and repainting when necessary. When repairing stucco, a stucco mixture duplicating the existing in appearance should be used. Keeping cracks sealed is an important part of protecting the stucco and its supporting lath and framing.

Modern Replacement Materials

Although the general recommendation is that historic materials be used in working on historic buildings, modern materials may sometimes prove to be the most appropriate. This may be because the modern material is better, and often it's because modern versions of the historic material are not as good as they were in the past.

As an example, historically our wood came from old-growth forests. It was quite rot-resistant and held paint very well. Wood from tree farms is quite the opposite. A modern replacement material, known as "Boral" looks very much like painted wood and has been found to perform very well, even in harsh locations like west-facing storefronts.

Care should be taken when selecting a modern material to replace a historic one, and these points should be considered:

- Appearance: Will the replacement look like an historic material when complete? For example, do not use a fake wood-grain if the wood you are replacing is smooth.

- Compatibility: Materials in a building need to be compatible. Aluminum is damaged by contact with copper, and some materials have radically different thermal expansion rates that may be catastrophic.
- Durability and Performance: Is there a track record for a material? Modern materials, such as pressed wood siding in the 1970's have a history of early failure. "Azak", a plastic used as a replacement for wood, works well in small areas, but it's extreme expansion rate renders it impractical in most situations.
- Repairability: Can a material be repaired, or must it be replaced? Can it be repainted or otherwise refinished if necessary?
- Availability: Will the material be available over the long term? A piece of damaged wood siding can be replaced and painted fairly easily. A piece of damaged vinyl siding may, because the exact product is no longer manufactured, require replacement on the entire building to keep a consistent appearance.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Figure 4.1: Muted color used for the body, lighter colors as accents.



Figure 4.2: Muted colors from a similar color family, with minor accents.

Color

Control of color choices is a common element of design guidelines and ordinances. Limiting color choice, or providing a palette of appropriate colors is one way of creating uniformity in an urban setting.

One of the good things about color is that it is just paint. Although we believe that color is an important part of any design, we are reluctant to suggest imposing a particular approach to color. Buildings have to exist for many years and during that period, taste in color changes. Color that seems right in one decade is reviled the next. Even our perception of historic color keeps changing—a reflection only of our own changing ideas about color.

Our recommendation regarding color is that it should be used thoughtfully, seeking harmony within the design and with adjacent structures if possible. The following are good guides in developing a paint scheme for a building:

- Consider returning building façade to its original paint colors. Historical accuracy may be accomplished by scraping away each layer of paint in a small area down to the first coat of paint. See Figure 4 (previous page).
- Use color to both define and unify the façade. Elements such as cornice, window frame, doors, and individual moldings etc. can be picked out in different colors to accentuate design elements.
- It is advisable to use muted colors for large areas and reserve more intense colors for accents, but the opposite can work if done with care. Figures 4.1, Figure 4.2
- Consider the color scheme and how it is coordinated with its surroundings. A building's color scheme should be individual, but work in unity with its neighbors. There might be a common color, or strategy of light vs. dark, for instance.
- Avoid duplication from building to building.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Figure 5: Yellow Trail Museum.



Figure 6: East side of Square.



Figure 7: Replacement storefront that closes the interior from the street.

Storefronts

Storefronts have evolved over time, and historically have been subject to frequent alteration. Downtown Hope is fortunate that many of its storefronts are original. The Yellow Trail building is an unaltered example exhibiting the small openings and panes of glass that predated the introduction of steel and plate glass in the late 19th century. See Figure 5. The cast iron and glass storefront of the Willow Leaves building is another fine example from slightly later. Other good examples are found in the Masonic building and the commercial building on the east side of the square. See Figure 6.

Storefronts are important elements that define the relationship between building and street, and also are important design elements in a commercial building and in a commercial district. Alterations to them should be done with care because poorly thought-out alterations can substantially undermine the original design of the building.

As important however, is the impact an altered storefront can have on neighboring buildings. For instance, if a storefront of mostly glass is replaced with small windows and brick walls, then future use of the space will likely never be retail again. If a goal for the downtown area is to enhance retail and dining experiences, then that goal is actually undermined by such an alteration. See Figure 7.

The recommendations that follow are drawn from Preservation Brief #11, published by the Technical Preservation Services group at the National Park Service.

- Respect the scale and proportion of the existing building in the new storefront design.
- Select construction materials that are appropriate to the storefronts; wood, cast iron, and large expanses of glass are usually more appropriate replacement materials than masonry and residential-scale windows.
- Respect the original way the storefront and facade were organized. Storefronts typically are organized vertically and horizontally within a large opening in the façade. Strong load-bearing vertical elements, such as cast iron columns or masonry piers, are usually infilled with wood and glass storefront material. The infill material is organized horizontally into bands made up of an opaque “kick” zone, the storefront window, and a high transom. A cornice, often ornate and made of tin, separates the storefront and upper stories. See Figure 8 (next page).

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Figure 8: Replacement storefront that follows original organization.

- Differentiate the primary retail entrance from the secondary access to upper floors. In order to meet current code requirements, out-swinging doors generally must be recessed. Entrances should be placed where there were entrances historically, especially when echoed by architectural detailing (a pediment or projecting bay) on the upper stories.
- The storefront generally should be as transparent as possible. Use of glass in doors, transoms, and display areas allows for visibility into and out of the storefront.
- Keep the treatment of secondary design elements such as graphics and awnings as simple as possible in order to avoid visual clutter to the building and its streetscape. See Figure 9.



Figure 9: Transparent storefront with appropriate signage.

GENERAL GUIDELINES FOR HISTORIC STRUCTURE MAINTENANCE BASED ON THE SECRETARY OF INTERIOR'S STANDARDS



Figure 9.1: Historic window adjacent to inappropriate replacement window.



Figure 10: Appropriate use of storm window over historic wood window.



Figure 11: Replacement windows matching form and design of historic windows.



Figure 12: Appropriate window replacement matching design of historic windows.

Windows

Replacement of historic windows can have a drastic negative effect on the appearance of a building by changing detail, proportion, material and color of one of its most important character-defining parts. When inappropriate replacements are used, something very important to the building is lost. If they are to be replaced, it should be done with care. See Figure 9.1.

Window replacement, unfortunately, is quite common, and it's far easier to find examples of bad practice than good. It usually undertaken in the belief that replacement is a good way of improving the energy efficiency of a building. Research has shown that it is one of the least cost-effective upgrades one can make. It is costly, and the savings in fuel do not pay for themselves during the expected life of the windows. Historic windows can achieve thermal performance that exceeds modern replacement windows through addition of weatherstripping and installation of storm windows. Low-E glass coatings can further improve the window's performance. See Figure 10.

Unless the windows are very severely deteriorated, repair is preferred over replacement. The result will be good thermal performance and a window that is likely to outlast a replacement for several reasons: old windows are usually made with old-growth wood which is far more rot-resistant than modern woods, the glass does not have to be replaced when the seal of the dual glazing fails, and, importantly, all parts can be repaired easily.

If, after exploring other options, replacement is determined to be the only option remaining, the following guidelines apply:

- Match the existing opening size, even if custom sizes are necessary. See Figure 11.
- Match the original operation and design. Do not replace double-hung windows with casements or sliders, or divided lights with single lights. See Figure 9.1.
- Use windows designed by the manufacturer as replacements for historic windows, that emulate the detail and character of the original. These windows will often have optional elements for trim or other detail. See Figure 12.

NEW CONSTRUCTION GUIDELINES FOR INFILL AND/OR ADAPTIVE REUSE PROJECTS

Generally Appropriate for New Construction

- | | |
|--|--|
| 1 Restore and repair buildings before demolishing and replacing them. | 8 Use ornament and detail for new buildings and additions that are congruous with the existing building. |
| 2 Respect, but do not emulate the prevalent historic and architectural styles of the district. | 9 Details should complement the new or existing building providing substantial “depth” with finishes integral to overall design that appear similar to those found traditionally on the building or in the district. |
| 3 Maintain the prevalent historic and architectural character of the district through additions that are appropriately scaled and respectful of existing individual buildings. | 10 Allow cultural and civic structures to have ‘pride of place’ with setbacks and form differences, while maintaining compatibility with the prevalent architectural scale. |
| 4 Maintain a continuous streetwall with the zero front and side setbacks of historic properties on the block. | 11 Maintain the character of the streetscape when installing new sidewalks or plazas. |
| 5 Maintain a visual break on the façade between the first and second floors. | 12 Locate additional parking spaces to the rear of the property screened from streets. |
| 6 If new construction is higher than the prevailing parapet height, step back the facade above that line. | |
| 7 Preserve existing historic outbuildings, significant landscape features and auxiliary buildings. | |

Purpose

The purpose of new construction guidelines is to present concepts and approaches that produce design solutions that represent the characteristics of the Hope Town Square and bring harmony between new and existing buildings.

New buildings should be designed to respect the urban context in which they are built. This means that their design is based on cues found in the vicinity—from adjacent buildings, sites, etc. It does not mean that the design should attempt to replicate any historic style. Examples such as the library and the former Irwin Union bank show that historicism is unnecessary when a design is based on observation and understanding of the context.

Fundamental concepts

- 1 New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old, yet at the same time be distinguishable from the old, so the evolution of the historic area can be interpreted properly. The architectural design of any period reflects the technology, construction methods, and materials available at the time. Therefore, today’s architecture should reflect the design approaches, technology, and materials currently accessible. Imitation of “period” styles in new construction is not appropriate in any historic area.
- 2 Newly designed buildings should not detract from the character of the historic area. Form, scale, mass and texture are all elements that allow classification of a particular building into type and/or style categories. The concentration of a certain style of building and/or the mixture of types and styles are the ingredients that give the area its quality. New construction must relate the elements of the new building to the characteristics of the historic district and its individual components.
- 3 Universal access to all persons is encouraged in new construction.
- 4 The existing buildings immediately adjacent and in the same block provide a very strong context to which any new construction must primarily relate.

NEW CONSTRUCTION GUIDELINES FOR INFILL AND/OR ADAPTIVE REUSE PROJECTS

Generally Inappropriate for New Construction

- 1 Demolish existing buildings for surface parking.
- 2 Use incongruous materials such as unfaced concrete, plastic, vinyl, fiberglass, concrete block, stucco, EIFS and corrugated or other metal siding as the dominant building material on additions and new buildings.
- 3 Remove mature trees unless they are deemed by the town to be dying, dead, diseased or posing a safety hazard to the public.
- 4 Use large paved, asphalted or comparable hardened materials for parking areas that are visible from the front elevation or the public right-of-way. Where this is an exception and alleys are not present, the use of hardened materials should be minimized.
- 5 Conflict with The Secretary of the Interior's Standards for Rehabilitation.

Recommendations:

- Maintain building setbacks-build to the sidewalk, and lot line to lot line if the adjacent buildings do so as well (rear setbacks can vary significantly)
- Continue the building profile-do not insert a pitched roof among flat roofs; maintain similar height from building to building.
- Take cues from the materials of adjacent buildings. Thus, brick would be the obvious choice if it is the dominant material.
- Maintain horizontal lines from building to building. This continuity creates a harmonious relationship from building to building. Thus the storefront, storefront cornice, second floor windows and roof edge should be at similar elevations.
- Use of a particular design feature is encouraged if it is characteristic of the area. In Hope, this would be the cantilevered sidewalk awnings, as were incorporated in the design of the new library.
- Follow storefront recommendations given above.
- If a historic detail cannot be replicated well, find a new way to interpret it.
- Windows should have a high transmission of visible light and low reflectivity.
- Entry doors are visible and inset to accommodate the outward swing of the door.
- The building use supports ground floor retail or services with upper floor residential or office uses.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

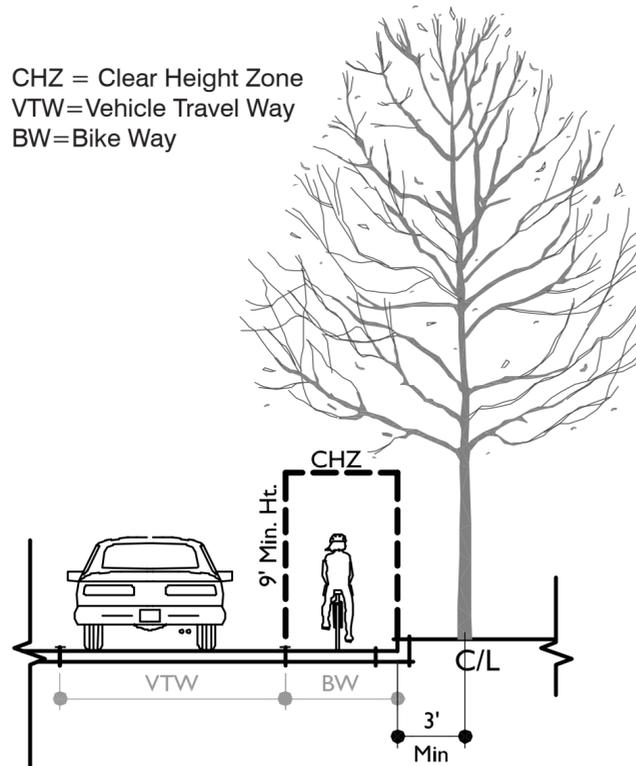
“The Standards are a series of concepts about maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations. The Guidelines offer general design and technical recommendations to assist in applying the Standards to a specific property. Together, they provide a framework and guidance for decision-making about work or changes to a historic property. The Standards and Guidelines can be applied to historic properties of all types, materials, construction, sizes, and use. They include both the exterior and the interior and extend to a property’s landscape features, site, environment, as well as related new construction.”

- 1 A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- 2 The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3 Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4 Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5 Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- 6 Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7 Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8 Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- 9 New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10 New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SITE IMPROVEMENT AND URBAN FOREST GUIDELINES

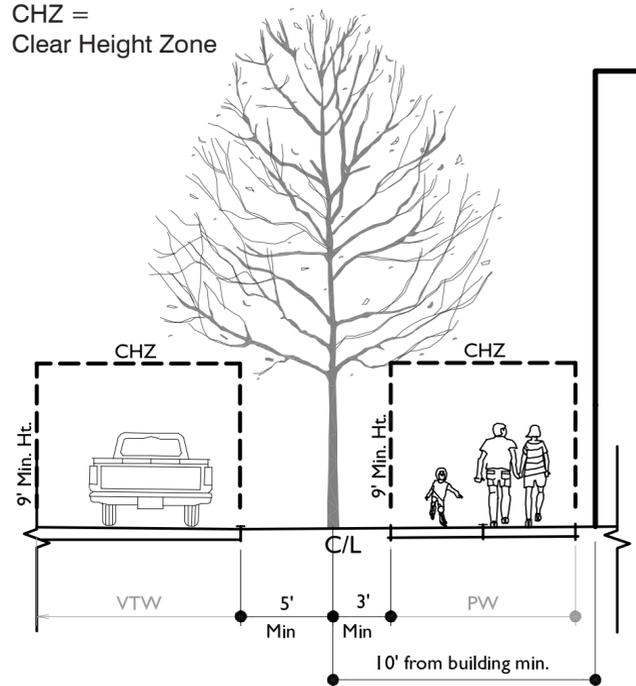
Urban Forest Recommendations:

CHZ = Clear Height Zone
VTW=Vehicle Travel Way
BW=Bike Way



Provide adequate clearance from face of curb to center of tree trunk.

CHZ =
Clear Height Zone



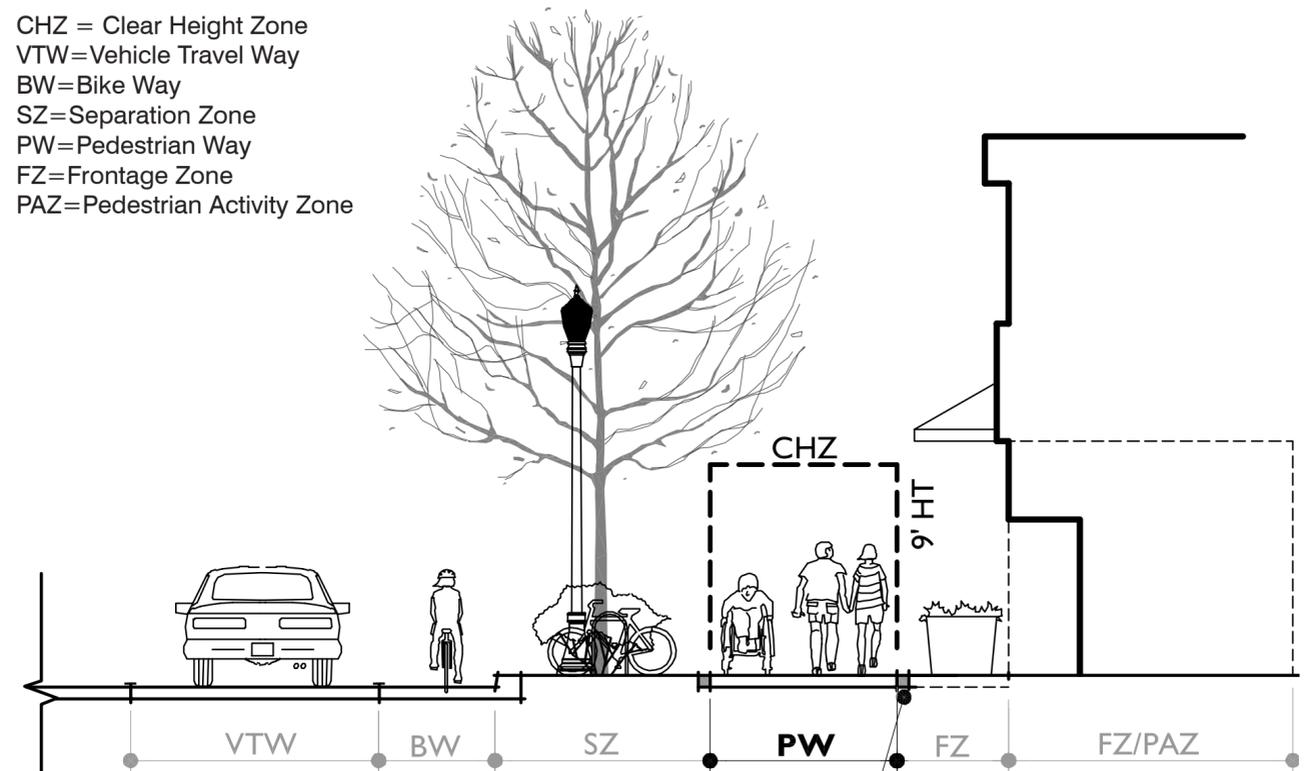
Provide adequate clear zones around trees.

1 Tree selection should follow the “Right Tree, Right Place” approach (<http://www.arboday.org/trees/rightTreeAndPlace>).

- a **Appropriate Street Trees:** Ginkgo, Princeton Elm, Red Oak, Honeylocust
- b **Appropriate Shade Trees in Town Square:** Red, White, or Bur Oak, Beech, Honeylocust, Basswood
- b **Ornamental Trees in the Streetscape:** Winterking Hawthorne, Tree Lilac, Purdue-approved Crabapples.
- c **Ornamental Trees in Town Square:** Serviceberry, Redbud, Black Haw

- 2 In the presence of overhead utility lines, offset tree plantings and/or adjust tree species for height, and provide a wider separation zone, so the tree canopy will avoid conflicts with the overhead utility lines.
- 3 Maintain view requirements to avoid blocking sight lines at intersections. Consider mature height and mass of plants to meet this requirement.
- 4 Use vegetation, plant-based mulches or hard surface ground covering in planting areas; do not use gravel, dirt, or other loose materials that may drift into the pedestrian way.

CHZ = Clear Height Zone
VTW=Vehicle Travel Way
BW=Bike Way
SZ=Separation Zone
PW=Pedestrian Way
FZ=Frontage Zone
PAZ=Pedestrian Activity Zone



Sidewalk Cafe Recommendations:

The development of outdoor dining, gathering places, patios, plazas, and increased use of the sidewalk for appropriate retail displays and activities is eligible for assistance, when all of the following are met:

- 1 Sidewalk café.
 - a The sidewalk cafe area does not obstruct the sidewalk, and maintains a continuous pedestrian way of at least 5 feet in width.
 - b Seating and tables shall be of durable materials and of consistent styling and color. Waste receptacles shall be provided.
- 2 Outdoor gathering area, plaza or patio.
 - a The sidewalk is not obstructed, and a continuous pedestrian way is maintained.
 - b Seating opportunities shall be incorporated into the area.

Driveways and Alleys

Limit curb cuts in the Main Street District and encourage the use of alleys for rear building access to maintain the historic street grid.

Sign Guidelines

Encourage effective retail signage solutions. Recommendations:

- 1 The design of the proposed building identification signs are integrated into the design of the building's façade. Building identification signs shall be compatible with the architectural pattern, style and fenestration of the building.
- 2 Wall signs shall be individual letter signs (Channel letters, Reverse channel letters, or Flat cut out letters), projecting sign, awning signs, or flat face wall sign. Backlit panel (pan formed face) or box type signs are not encouraged.
- 3 Projecting signs should be integrated with the building design when contextual relationships are compatible. Projecting signs shall have a maximum projection of four feet into the right-of-way with a minimum clear height zone of nine feet.
- 4 Strobe lights, motion, and electronic message boards, other attention getting devices should not be used.
- 5 Grade level window signs and displays do not obscure more than 30 percent of the total window area and only contain materials for products or services available on the premises.
- 6 Signs are designed creatively and artistically.
- 7 Signs provide a durable, professional quality finish and appearance.
- 8 All public entrances shall provide the street address number clearly visible, daytime and nighttime, from the pedestrian way and from vehicle travel lanes. Numbers shall be a minimum of four inches high.
- 9 Inappropriate signage is removed from the site and facade. Inappropriate is defined as a building identification sign that does not meet the above guidelines, or a pole or ground sign.

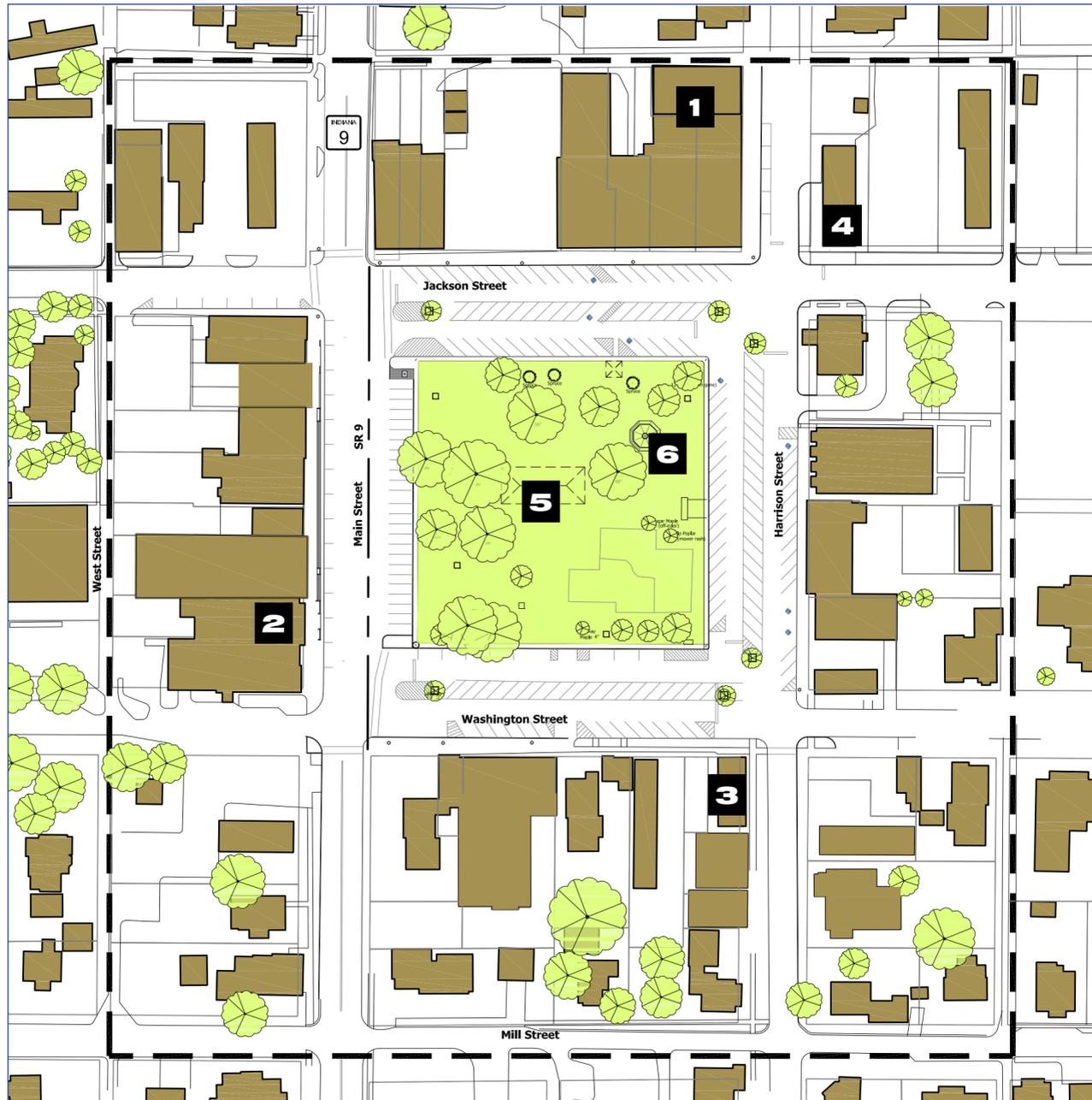
Site Lighting Guidelines

Be "safe-place" oriented to assure that customers, clients, employees and residents can enjoy the experience of being on private property.

Recommendations:

- 1 Sites should be lit uniformly. Wall-mounted fixtures are preferred. Light fixtures should complement the architecture of the building façade. Where pole mounted fixtures are required, they shall be located discretely, be not more than twenty-feet tall, mounted on a painted metal pole and painted dark green (Hope Green).
- 2 "White" light is preferred, such as metal halide, over yellow sodium, or blue mercury vapor.
- 3 A minimum level of 1 horizontal foot candle should be maintained at grade for building entrances, walkways, paths, sidewalks, driveways, and parking lots while the business is open.
- 4 Within one-hour after close-of-business, the lighting level should be reduced 50% or to security lighting levels.
- 5 All light sources should be shielded and direct light onto the surface area only.

KEY BUILDING GUIDELINES



**Key Buildings
Selected for Detailed Guidelines**

Existing Building
0 50' 100'

The Working Group invited every downtown property owner to participate in this planning effort. Several property owners provided individual tours of their buildings.

Based on those tours and on conversations with the individual property owners, the following buildings were selected to receive detailed building facade assessments and improvement recommendations:

- | | |
|--|---|
| <p>1 Former Hope Volunteer Fire Department Building</p> | <p>4 Future Hope Town Hall</p> |
| <p>2 Masonic Temple</p> | <p>5 Town Square Shelter House</p> |
| <p>3 Existing Doctor's Office</p> | <p>6 Town Square Bandstand</p> |

1 FORMER LODGE HALL; FORMER HOPE VOLUNTEER FIRE DEPARTMENT

Potential Adaptive Reuses And Their Design Considerations

1
Consider internal linkage and shared services between this building and abutting buildings that front the Town Square to create a destination retail development scale and identity.

2
Consider related usage for the high-ceilinged second floor, such as an events space.



An example of a well executed adaptation of a multiple bay storefront for indoor/outdoor dining. The signage may have been better as a single line contained within the brick spandrel however.



The c.1900 Lodge Hall had been repurposed until recently as the Hope fire station. Though on a side-street, its two-story massing would make it a prominent destination if repurposed with a use more supportive of downtown revitalization.

Probable Budget Cost Range Detail (2017 numbers)

| Item | Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|---|---|------|--------------|---------------|--------------------|---------------------|
| Former Hope Volunteer Fire Department Building Façade Renovation Costs | | | | | | |
| 1 | Demo existing concrete driveway | SF | \$5,000.00 | \$10,000.00 | | |
| 2 | New decorative sidewalk for outdoor dining | SF | \$8,750.00 | \$9,500.00 | | |
| 3 | Flowerbox patio railing | LF | \$1,500.00 | \$1,800.00 | | |
| 4 | Stabilize lintel, and replace columns and foundations | SF | \$15,000.00 | \$20,000.00 | | |
| 5 | New 4-bay storefront | SF | \$22,500.00 | \$32,500.00 | | |
| 6 | Masonry replacement and tuckpointing | SF | \$3,750.00 | \$7,500.00 | | |
| 7 | Storefront doors and hardware | EA | \$3,600.00 | \$5,000.00 | | |
| 9 | Transom-placed cast aluminum sign letters, 18" height | EA | \$2,475.00 | \$3,000.00 | | |
| 10 | Exterior Light Fixtures | EA | \$1,400.00 | \$2,000.00 | | |
| | Subtotal | | | | \$63,975.00 | \$91,300.00 |
| 11 | General Conditions (6%) | | | | \$3,838.50 | \$5,478.00 |
| 12 | Contractor Profit (10%) | | | | \$6,397.50 | \$9,130.00 |
| 13 | Design and Engineering (8%) | | | | \$5,118.00 | \$7,304.00 |
| | GRAND TOTAL | | | | \$79,329.00 | \$113,212.00 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, the bidding climate and level of finishes and design options selected in final design.

Existing Building Façade Observations

1
Door columns and steel lintel have settled causing damage to brick coursing above, while the sagging eavestrough's overflow further damaged the brick through freeze-thaw effect.

2
The former adaptation from lodge hall to fire station replaced the assumed but undocumented historic detail and character with an industrial image.

Facade Improvement Considerations

Proposed improvements for facade stabilization are based on potential adaptive reuses supportive of downtown revitalization such as retail/dining/entertainment, ideally in combination.

1
Replace eavestrough with higher capacity stepped profile box gutter system which will also create a visually stronger cornice line.

2
Lift and stabilize the displaced lintel structure, possibly utilizing helical pier supported columns in a four-bay configuration.

3
Replace the industrial doors with a more traditional storefront treatment within that bay configuration.

4
Replace the driveway with more level sidewalk and possible curb bumpout for outdoor dining and street trees.

5
Consider use of the traditional Hope Awning for protection/definition of outdoor dining, and a traditional projecting sign for side-street visibility from the town square area.



This Historic postcard reveals the original glass at street level facade. Digital Image from Indiana Historical Society



Masonic Temple; c.1910, is now mixed-use residential and commercial with great potential for contribution to downtown revitalization based on its monumental scale and prominent location.

Probable Budget Cost Range Detail (2017 numbers)

| Item | Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|-----------------------|---|------|--------------|---------------|--------------------|--------------------|
| Masonic Temple | | | | | | |
| 1 | General cleaning and tuckpointing (assume 50% of building façade) | SF | \$10,800.00 | \$13,500.00 | | |
| 2 | Stripping paint from existing masonry in storefront | SF | \$4,050.00 | \$4,800.00 | | |
| 3 | Repair and/or replace upper story windows | EA | \$10,000.00 | \$12,500.00 | | |
| 4 | Replace transoms over storefront doors | EA | \$3,000.00 | \$3,750.00 | | |
| 5 | Replace transom-placed cast aluminum sign letters, 18" height | EA | \$2,475.00 | \$3,000.00 | | |
| | Subtotal | | | | \$30,325.00 | \$37,550.00 |
| 6 | General Conditions (6%) | | | | \$1,819.50 | \$2,253.00 |
| 7 | Contractor Profit (10%) | | | | \$3,032.50 | \$3,755.00 |
| 8 | Design and Engineering (8%) | | | | \$2,426.00 | \$3,004.00 |
| | GRAND TOTAL | | | | \$37,603.00 | \$46,562.00 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, the bidding climate and level of finishes and design options selected in final design.

Existing Building Facade Observations

- 1 The building is physically imposing, in generally good condition, and with many intact exterior and interior historic features.
- 2 Second floor windows need replacements that are consistent with the original third level windows.
- 3 Painted ground floor brick diminishes the scale.
- 4 The condensed modernist font signage is inappropriate to the building's historic style.

Proposed Facade Improvements

Proposed improvements are based on potential adaptive reuses supportive of downtown revitalization. Consider retail/dining/entertainment on ground floor, offices, apartments or B&B second floor, and possible events space on the third floor based on the existing high ceilings and open space.

- 1 Repair deteriorating original sash and replace inappropriate second level sash with energy efficient units that replicate the historic windows.
- 2 Expose the street level brick and door transoms per the historic photograph for a more unified facade.
- 3 Consider traditional serif font signage with letters directly attached to the exposed brick spandrel.

Adaptive Reuse and Design Considerations

- 1 Maintain a street level retail presence
- 2 Exploit the building's uniqueness by developing open plan loft type spaces that could support live/work apartments, upscale condominiums, or an enterprise-level technology venture based on the building's location, prominence and "cool" factor.
- 3 Alternatively consider upper level use as an entertainment/events venue utilizing the tall ceilings.

3 EXISTING DOCTOR'S OFFICE



This c.1952 ashlar-coursed limestone building was Hope's post office for twenty years. It is intact with the exception of the filled-in windows around the door. Note the now concealed stone sign plaque



With the exception of the sign, the building maintains much of its original character but is visually standalone and classified as non-contributing in the historic district documentation. Streetscape enhancements and building enhancements suggested for consideration are intended to improve its perceived relationship to the overall district.

Existing Building Facade Observations

- 1** Overall the building is in good condition.
- 2** The sign is effective though dated in appearance. It blocks the original stone plaque sign.
- 3** Its street corner prominence makes it a candidate for modest improvements to capitalize on the location and contribute to completion of the Washington Street side of the town square.
- 4** Completion of the block would result if the vacant lot gap to the west were developed in sympathetic close-coupled relationship to this building.

Proposed Facade Improvements

Proposed improvements are based on assumed continued use as a professional practice.

- 1** Consider installing the Hope Awning to increase its now diminutive scale and subdue its unique, though idiosyncratic, stone material, and visually relate it to other commercial buildings facing the square.
- 2** Consider integrating the building signage as a horizontal band, slightly under and behind the leading edge of the proposed awning, possibly supplemented by a projecting sign within the awning visible from the sidewalk.

Probable Budget Cost Range Detail (2017 numbers)

| Item | Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|------------------------|---|------|--------------|---------------|-------------------|-------------------|
| Doctor's Office | | | | | | |
| 1 | General cleaning and tuckpointing (assume 25% of building façade) | SF | \$1,200.00 | \$1,500.00 | | |
| 2 | Hope Awning (25'L x 7'W with 2 steel posts) | SF | \$2,187.50 | \$3,500.00 | | |
| 3 | Two-sided metal sign on hangar | EA | \$750.00 | \$1,000.00 | | |
| | Subtotal | | | | \$4,137.50 | \$6,000.00 |
| 4 | General Conditions (6%) | | | | \$248.25 | \$360.00 |
| 5 | Contractor Profit (10%) | | | | \$413.75 | \$600.00 |
| 6 | Design and Engineering | | | | \$1,000.00 | \$1,000.00 |
| | GRAND TOTAL | | | | \$5,799.50 | \$7,960.00 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, the bidding climate and level of finishes and design options selected in final design.

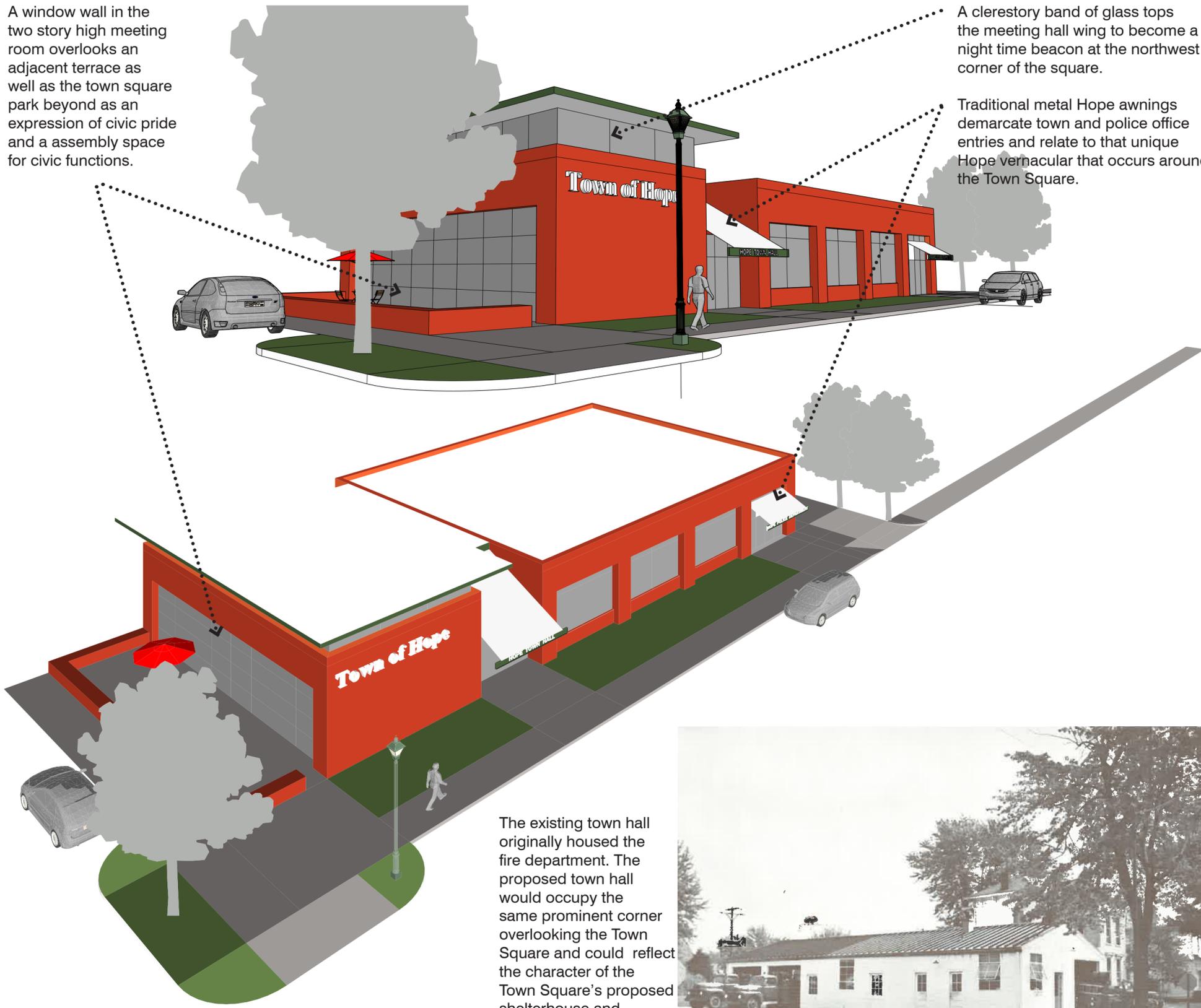
4 FUTURE HOPE TOWN HALL

Building Massing Study

A window wall in the two story high meeting room overlooks an adjacent terrace as well as the town square park beyond as an expression of civic pride and a assembly space for civic functions.

A clerestory band of glass tops the meeting hall wing to become a night time beacon at the northwest corner of the square.

Traditional metal Hope awnings demarcate town and police office entries and relate to that unique Hope vernacular that occurs around the Town Square.



The existing town hall originally housed the fire department. The proposed town hall would occupy the same prominent corner overlooking the Town Square and could reflect the character of the Town Square's proposed shelterhouse and bandstand improvements but in a more contemporary idiom.



Architectural programming has been competed for this proposed, but unfunded, new facility which would replace the current town offices, meeting hall and police department. The adjacent images and the recommendations below are intended to leverage this potential investment towards greater compatibility with the objectives of downtown revitalization that have been developed in this plan subsequent to the separate and preceding Town Hall feasibility study.

Proposed placement, massing and usage considerations

1 While alternative locations on the blocks directly facing the Town Square were examined, the existing town hall site on the northeast corner of Jackson and Harrison Streets appears to be the best location for both accessibility and civic prominence. Using that site also preserves the development potential of other considered locations.

2 The proposed building massing should have a two story equivalence on the corner, and a tall ceilinged meeting room for civic functions that are adaptable to civic gatherings, exhibitions and/or performances.

3 Brick cladding of a single red/brown color with a minimum of ornamentation relies on massing and fenestration for compatibility and extension of the traditionally simple Hope architecture that is arrayed around the square. Use of the traditional Hope metal awning furthers that visual connection.

5 TOWN SQUARE SHELTER HOUSE



Proposed Shelterhouse enhancements viewed approaching from the west (Main Street)

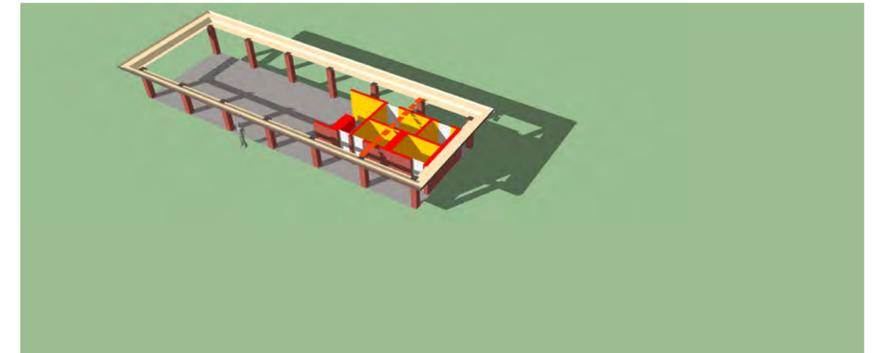
Shelterhouse renewal and expansion context

The shelterhouse was originally a flat-roofed, modernist pavilion that replaced the original bandstand in the center of the Town Square. A false roof in a more traditional form was built over the original structure twenty years ago. There are no restrooms in the shelterhouse or the overall park, nor are there accessible paths from perimeter parking to it. Both are significant shortcomings for this well-used place. Public meeting feedback was that the shelterhouse looks out of place, and that a more welcoming gathering place, with restrooms close to the playground, was needed. Some recommended removing the shelterhouse and replacing it. Others felt it was still suitable for group picnics and festivals. Some commented that related outdoor space and accessible paths to the facility were needed.

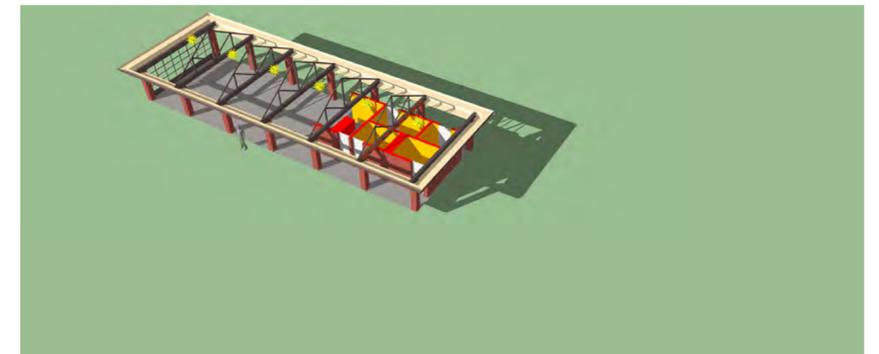
Recommendations in response to public comments:

- 1 Expand it by one bay toward the east to accommodate restrooms and additional storage space.
- 2 Reduce the visual mass of the expanded core by pushing the north and south walls inward to create a covered arcade defined by extension of the existing brick piers.
- 3 Replace the false roof and the flat ceiling joists with light trusses for a more a more open interior space.
- 4 Install glazed roll-up doors between brick piers on the west, north, and south sides allowing multi-season usage, with consideration of event monetization to partially cover facility maintenance costs.
- 5 Develop terraces on the north side as an overlook to bandstand events and on the south side as a playground overlook. Furnish both with movable umbrella tables and chairs to add capacity.
- 6 Install tiered limestone block seating on the southeast slope, similar to that proposed at the bandstand.
- 7 Extend a promenade from Harrison Street wide enough for catering and service vehicles.
- 8 Make the shelterhouse a prominent destination along the proposed accessible path system.

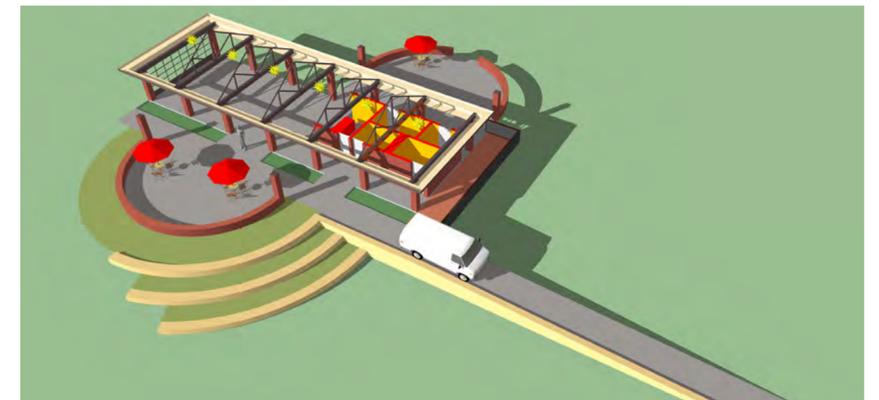
Note: see page 70 for probable cost budget for the Shelterhouse building.



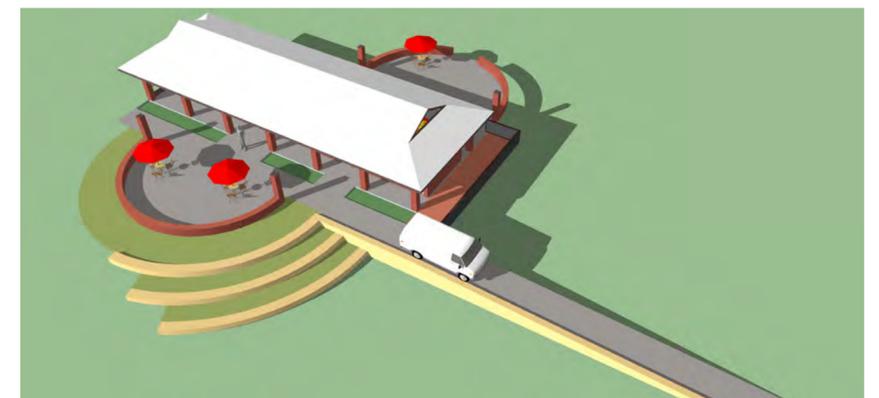
Restroom addition accessed from a covered arcade



Roof trusses, a roll-up west wall & traditional Hope Lights



Overlook terraces and a promenade/service access route



Half-gabled hip roof in the traditional Hope agricultural building form, and similar to the proposed Hope Awning

6 TOWN SQUARE BANDSTAND



Sketch showing the relationship between the bandstand and shelterhouse and the scale of the potential improvements.

Town Square Bandstand: the need for improvements

The existing bandstand is a replication of one that originally stood in the center of the square. Performances are hindered by the railing and limited stage area. The roof needs replacement. The view behind the bandstand is of parked cars. Recommendations that follow have been developed to make the bandstand more suitable for performances, provide a better audience experience, and visually separate it from the parked cars and traffic along Harrison Street.

Recommendations:

- 1 Remove three sections of railing and provide tiered wrap-around steps for improved audience/performer connection.
- 2 Provide flowering tree understory planting between the bandstand and Jackson Street parking for visual separation.
- 3 Connect the bandstand and its seating area with an ambling park walkway system.
- 4 Provide large stone blocks arranged in semi-circular tiers rising up the slope to provide enhanced seating.
- 5 Replace the existing roof.



Existing Bandstand



Potential Bandstand Improvements

Partial railing removal and wrap-around steps enlarge the performance area while reducing the barrier between performer and audience. Flowering trees veil the view of parked cars beyond.

Note: see page 70 for probable cost budget for the bandstand.

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Chapter 7

Implementation and Investment Strategies

65 Introduction|How To Use this Section

66 Proposed Zoning and Infrastructure Project Maps

67 Near Term (2018 - 2021)Programs, Policies or Projects to Consider

68 Mid Term (2021 - 2024) Programs, Policies or Projects to Consider

68 Long Term (2024 - 2027) Programs, Policies or Projects to Consider

69 Detailed Infrastructure Project Scopes and Budget Descriptions

73 Funding Options

INTRODUCTION

The purpose of the Downtown Revitalization Plan is to activate investment in downtown Hope and create an improved future for Hope residents and businesses. The Plan’s recommendations are a combination of policy, programs and capital investment. It is expected that not all recommendations will be implemented, though it is a worthy goal to try. Successful sustainable revitalization is continuous but incremental, and flexibly adaptable to opportunities and constraints that are difficult to predict and control over the life of the plan. Therefore the recommendations and choices presented in the plan should be viewed as adaptable to periodic adjustment and fine-tuning as they are selected to move forward into implementation.

Successful revitalization plans are guided by that flexibility and by:

- A commitment to the plan as a guide over an extended time frame.
- The ability to adhere to its principles when adapting it to new information or opportunities.
- The tenacity to overcome unforeseen, but inevitable, hurdles that will appear.

Each implementation project described in this chapter indicates scope, benefit, budget cost, and reference to the chapter/page within the overall document where each project is described. Benefits are described relative to the following four strategies that are the plan’s foundation:

- 1 Celebrate Hope’s heritage and values
- 2 Focus on Town Square to make it more effective and sustainable
- 3 Invest in district safety, connectivity, and streetscape enhancement
- 4 Repopulate downtown with residents and employers, and increase the number of visitors from Hope’s market region.

[See pages 19-20 regarding these strategies as drivers of revitalization]

HOW TO USE THIS SECTION

Implementation Strategies are not prioritized except for the time frames indicated below. These strategies have choices based on cost-benefit and sustainability considerations relative to the Town’s funding capacity, availability of grants and private development initiatives.

It is believed that many of the recommendations in this plan can be implemented within the following phased planning period:

- Near-term: 2018 through 2021
- Mid-term: 2021 through 2024
- Long-term: 2025 through 2027
- Opportunistic: respond during any phase of plan development and implementation to leverage partnership and new grant opportunities. Those ideally will result from proactive promotion of the plan as well as by unpredictable Federal and State legislation. In the recent past, infrastructure funding programs were seized upon by communities that had shovel-ready plans and the ability to assemble local matching funds.

The list of potential implementation projects, programs, or policies that follows is intended to be a starting point for the Town Council and the Main Street of Hope. An annual review and update is recommended to evaluate progress for that year, and to confirm, modify or reorganize project implementation for the next period based on capacity, and reassessment of long-range sustainability considerations, such as recurring costs vs. revenue streams.

Note that the budget detail presented in the following project descriptions is for project planning purposes, and has inherent uncertainties regarding unpredictable material and labor costs based on macro-economic trends, in addition to the annually variable inflation rate.



Proposed Zoning Map

- R-3 Single-Family Residence District
- MU Mixed-Use District
- PUB Public/Semi-Public Facilities District
- PARK
- I-1 Industrial District

SUMMARY OF PROPOSED POLICY OR PROGRAM PROJECTS FOR CONSIDERATION

- Support existing and proposed Main Street programs to celebrate Hope culture and heritage
- Amend Zoning Ordinance to promote mixed-use development, rezone Town Square to park district, and create Historic Resource Overlay District
- Request for Proposal package for development of vacant Jackson Street lot
- Policy incentives for building facade renovations, adaptive reuse and new building infill
- Job training program and business incubator in Main Street District
- Mechanisms for urban forest maintenance and sustainability



Proposed Infrastructure Project Locations

- Hope Town Square
- Main Street / SR 9 Front Door
- Jackson Frontage on Town Square
- Main Street District Transition Blocks
- Washington & Harrison Frontage on Town Square

SUMMARY OF PROPOSED INFRASTRUCTURE PROJECTS FOR CONSIDERATION

- Hope Town Square and Jackson Frontage on Town Square Streetscape
- District Lighting System
- Washington & Harrison Frontage on Town Square Streetscape
- SR 9/Main Street Front Door Scoping for Infrastructure Funding
- Shelterhouse renovation, Bandstand roof replacement, and additional Town Square amenities
- Main Street District Transition Blocks Streetscape
- SR 9/Main Street Front Door Infrastructure Project Implementation

NEAR TERM (2018 - 2021) PROGRAMS, POLICIES OR PROJECTS TO CONSIDER

Hope Culture and Heritage

Continue to support existing and proposed Main Street programs to continue and expand the process of celebrating Hope culture and heritage.

- Benefit: visually express Hope's identity and culture. See Chapter 3 for more detail.
- Scope: beautification, upper floor candle lights, walking and/or horse and buggy tours, historic plaques on historically significant buildings.
- Budget cost range: \$5,000 - \$10,000 annually
- Partners: Yellow Trail Museum, local agricultural community for horse and buggies; local hospitality venues for dinner/tour packages.

Hope Town Square and Jackson Frontage on Town Square Streetscape Infrastructure Project

Seek funding for Town Square improvements and Jackson Frontage on the Town Square Streetscape. See Chapters 4 and 5 for project elements.

- Benefit: make Town Square park more effective and sustainable; improve the safety, accessibility and appearance of the Jackson Frontage Streetscape.
- Budget cost range and scope: \$524,000 - \$639,000. See page 69 for detail. Note, in addition to OCRA funding, it may be worthwhile to seek Indiana DNR outdoor recreation grant opportunities.

Zoning Ordinance Changes and Historic Resource Overlay District

Amend the Zoning Ordinance to allow and promote mixed-use of buildings and parcels within the Main Street district, and rezone the Town Square from commercial zone to park zone. Create an Historic Resource Overlay District. See Proposed Zoning Map on page 66, and additional discussion on page 20, Strategy 4.

- Benefit: encourages investment and more mixed use in the downtown, and protects the Town Square from currently allowable but possibly inappropriate future uses. Protects investment in historic resources from adjacent inappropriate development.
- Scope: to be determined by more discussion on specific goals and consultation with a planning professional or attorney for mechanisms.
- Budget cost range: planning and legal consulting fees to be determined.

Main Street District Lighting System

Investigate and determine best method for Main Street District lighting system.

- Benefit: improve lighting system for safety, efficiency and character. See page 34 for fixture recommendations.
- Scope: Develop a Request for Proposal for Duke Energy and selected lighting vendors for evaluation of alternative system financing.
- Budget cost range: consulting fees to be determined. Lighting system costs unknown at this time but it is anticipated that a system would need to be financed with a loan or lease program.

Request For Proposal for Development of Vacant Jackson Street Lot

Seek a partnership with the owner of the vacant lot on Jackson Street to find a development team willing to construct an infill building. Develop a Request for Proposal that corresponds to the vision of the Downtown Revitalization Plan and preferred outcome. The Town may choose to support the project with incentives based on how well the applicant fulfills the expectations of the Revitalization Plan.

- Benefits: potentially develops momentum for additional private sector investment, increases tax revenue, and provides job opportunities.
- Budget cost range and scope: consulting fees to develop RFP policy guidance and evaluation mechanisms for potential proposals.

Scoping for SR 9/ Main Street Front Door Infrastructure Project

Position Hope for better control of SR 9/Main Street improvements and possible project funding by applying for inclusion in the Columbus Area Metropolitan Planning Agency (CAMPO) Long-Range Transportation Plan or by applying for project funding directly with INDOT, based on a Scoping Report.

- Benefit: improve safety, connectivity for local traffic, pedestrians, and bicycles, and improve Hope's Front Door image.
- Budget cost range and scope: consulting fees and project match to be determined once INDOT data collection on traffic counts is completed and evaluated. Scoping reports generally cost between \$10,000 - \$15,000.

MID TERM (2021 - 2024) PROGRAMS, POLICIES OR PROJECTS TO CONSIDER

Incentives for Private Property Investment

Develop incentives for private property investment in building facades, adaptive reuse, and new building infill within the Main Street district.

- Benefit: promotes new investment by the private sector and increases tax revenue.
- Scope: develop an enabling ordinance or policy and determine financial capacity and cost-benefit.
- Budget cost range: consulting fees, to be determined.
-

Job Training and Business Incubator

Develop job training program for local skill development. Focus should be on industrial, technology and hospitality industries. Find a location within the Main Street district.

- Benefit: develop local job skills and opportunities for under-employed and entry level youth. Activate downtown and increase tax revenue.
- Scope: develop in partnership with state programs, local schools and local industry.
- Budget cost range: to be determined.

Shelterhouse Renovation, Bandstand Roof Replacement and additional Town Square amenities

Seek funding for Shelterhouse Renovation, Bandstand Roof replacement and additional Town Square amenities. See Chapter 4 for description of Town Square amenities and pages 62 and 63 for design guidelines on structure renovations.

- Benefit: make Town Square park more effective and sustainable.
- Budget cost range and scope: \$391,000 - \$514,000. See page 70 for detail.

LONG TERM (2024 - 2027) PROGRAMS, POLICIES OR PROJECTS TO CONSIDER

SR 9/ Main Street Front Door Infrastructure Project

Implement SR 9/Main Street Front Door Infrastructure Improvements

- Benefits: improve safety, connectivity (local traffic, pedestrians, bicycles) and Front Door image
- Scope: See pages 35-37 for proposed design detail. Considerations include milling and resurfacing pavement for new bike lanes, parking and travel lane markings, intersection controls, new landscape median, mid-block crosswalk, circular part entry plazas, tree islands, streetscape planting areas, new street furnishings, street light poles with banners, and landscape enhancements.
- Budget cost range: based on Scoping Report completed earlier and as determined by the Town's financial capacity to fund match requirements of overall project cost.

Seek funding for Washington & Harrison Frontages on Town Square Streetscape.

Seek funding for Washington & Harrison Frontages on Town Square Streetscape. See Chapter 5 for project elements.

- Benefit: Improve the safety, accessibility and appearance of the Washington and Harrison Frontages on Town Square Streetscape
- Budget cost range and scope: \$340,000 - \$440,000. See page 71 for detail.

Seek funding for Main Street District Transition Blocks Streetscape

Seek funding for Main Street District Transition Blocks Streetscape. See Chapter 5 for project elements.

- Benefit: Improve the safety, accessibility and appearance of the Main Street District Transition Blocks and extend walking tour range.
- Budget cost range and scope: \$481,000 - \$668,000. See page 72 for detail.

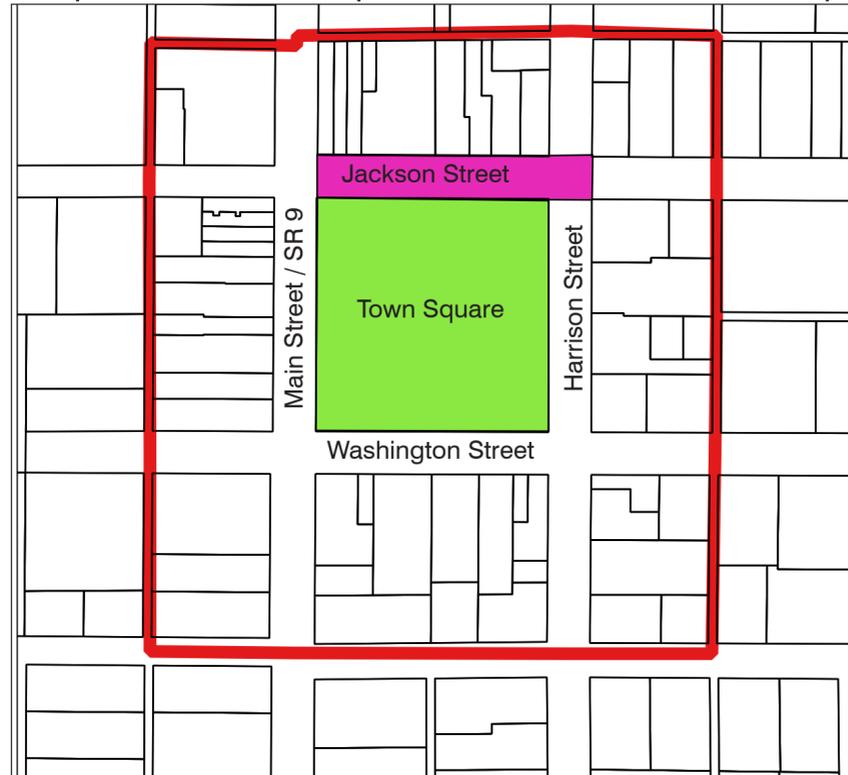
Urban Forest Maintenance and Sustainability

Establish an urban forest maintenance and sustainability program.

- Benefit: to protect the health, safety and welfare of both the public and trees in downtown Hope, promote the enhancement and natural beauty of the Town, provide educational opportunities, and eligibility for grants and funding.
- Budget cost range and scope: to be determined.

HOPE TOWN SQUARE AND JACKSON FRONTAGE ON TOWN SQUARE STREETScape

Seek funding for priority improvements to the Hope Town Square and streetscape improvements for the Jackson Street Town Square frontage streetscape. See Chapter 4 for Town Square considerations and Chapter 5 for fronting street streetscape recommendations.



Project Location Map
■ Hope Town Square
■ Jackson Frontage on Town Square

Benefit: make Town Square more effective and sustainable. Improve the safety, accessibility and appearance of the Main Street District primary retail block of Jackson Street fronting the Town Square.

Scope:

- **Town Square:** considerations include new ADA walking path that connects Town Square elements with defined entries, new terraces and seating, playground integration, and landscape enhancements.
- **Jackson Street Town Square frontage streetscape:** Considerations include milling and resurfacing pavement for new parking pattern striping and enlarged tree islands, mid-block crosswalk, curb bump-out at Harrison Street corner, streetscape planting areas, new street furnishings, and landscape enhancements.

Probable Budget Cost Range Detail (2017 numbers)

| Item Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|---|---------|--------------|---------------|---------------------|---------------------|
| Hope Town Square and Jackson Frontage on Town Square Streetscape | | | | | |
| Town Square Site Priorities | | | | | |
| 1 Demolition | LS | \$5,000.00 | \$10,000.00 | | |
| 2 Foundations | CY | \$21,500.00 | \$23,650.00 | | |
| 3 Concrete Path (sand finish - 6' width, internal) | SF | \$76,518.75 | \$83,077.50 | | |
| 4 Replace sidewalk on 3 sides (increase width to 6 ft - curb remains) | SF | \$25,245.00 | \$29,835.00 | | |
| 5 Compacted Aggregate, No. 53 base, 6" depth | TON | \$20,925.00 | \$23,250.00 | | |
| 6 New curb for two round plazas at Harrison Street corners | CY | \$12,000.00 | \$14,400.00 | | |
| 7 Brick paving on concrete base | SF | \$78,980.00 | \$89,750.00 | | |
| 8 Brick Seat Wall at Terraces | SF Face | \$13,125.00 | \$17,500.00 | | |
| 9 Limestone or Concrete Block Terraced Seating | CY | \$9,000.00 | \$12,000.00 | | |
| 10 Low wrought iron playground fence | LF | \$5,625.00 | \$6,750.00 | | |
| 11 Playground surface modifications | LS | \$10,000.00 | \$15,000.00 | | |
| 12 Flowering Trees | EA | \$4,400.00 | \$6,600.00 | | |
| 13 Turf repair | SF | \$15,000.00 | \$18,000.00 | | |
| SUBTOTAL | | | | \$297,318.75 | \$349,812.50 |
| Bandstand Priorities | | | | | |
| 14 ADA Ramp and Stairs | SF | \$3,900.00 | \$4,875.00 | | |
| 15 New steps or temporary stage for performances | SF | \$900.00 | \$1,125.00 | | |
| SUBTOTAL | | | | \$4,800.00 | \$6,000.00 |
| Jackson Street Town Square Frontage Streetscape Priorities | | | | | |
| 16 Demo Sidewalk | SY | \$8,050.00 | \$16,100.00 | | |
| 17 Curb Removal | LF | \$780.00 | \$2,600.00 | | |
| 18 Bituminous Cold Planing, up to 3" | SY | \$2,778.00 | \$5,556.00 | | |
| 19 Concrete Cold Planing, up to 3" | SY | \$1,500.00 | \$1,625.00 | | |
| 20 Sidewalk repair for safety (50% assumed) | SY | \$6,750.00 | \$10,350.00 | | |
| 21 New decorative sidewalk | SF | \$14,087.50 | \$15,295.00 | | |
| 22 HMA, Surface, Type B, 1 inch | TON | \$8,835.00 | \$10,230.00 | | |
| 23 HMA, Intermediate, Type B, 2 inches | TON | \$17,670.00 | \$20,460.00 | | |
| 24 Curb Ramps | SY | \$3,000.00 | \$3,750.00 | | |
| 25 New Curb - 6" | LF | \$1,080.00 | \$1,320.00 | | |
| 26 New Curb - 12" | CY | \$14,500.00 | \$17,400.00 | | |
| 27 Adjust drainage structures | EA | \$1,200.00 | \$1,350.00 | | |
| 28 Line, Thermoplastic Solid, White, 4 in. | LF | \$535.50 | \$1,759.50 | | |
| 29 Transverse Markings, Thermoplastic, Lane Indication Arrow | EA | \$325.00 | \$425.00 | | |
| 30 Transverse Markings, Thermoplastic, Stop Line, 24 in | LF | \$52.50 | \$63.75 | | |
| 31 Speciality Pavement Marking (mid-block pedestrian crossing) | SF | \$21,560.00 | \$24,500.00 | | |
| 32 Sign Post, Square, Reinforced Anchor Base | EA | \$100.00 | \$200.00 | | |
| 33 Sign Sheet, Encapsulated Lens with Legend, 0.080 in thickness | SF | \$160.00 | \$180.00 | | |
| 34 Streetscape furnishings | LS | \$15,000.00 | \$20,000.00 | | |
| 35 Landscape Bed Edging | LF | \$6,000.00 | \$7,200.00 | | |
| 36 Landscape Shrubs and/or Perennials | SF | \$6,400.00 | \$9,600.00 | | |
| 37 Flowering Trees | EA | \$500.00 | \$600.00 | | |
| 38 Shade Trees | EA | \$1,400.00 | \$1,700.00 | | |
| 39 Mulch and Planting Soils | SY | \$2,100.00 | \$3,150.00 | | |
| SUBTOTAL | | | | \$134,363.50 | \$175,414.25 |
| TOTAL | | | | \$436,482.25 | \$531,226.75 |
| 32 Mobilization (5%) | | | | \$21,824.11 | \$26,561.34 |
| 34 Design and Engineering | | | | \$65,472.34 | \$79,684.01 |
| GRAND TOTAL | | | | \$523,778.70 | \$637,472.10 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, subsurface infrastructure and utility conditions, the bidding climate and level of finishes and design options selected in final design.

SHELTERHOUSE RENOVATION, BANDSTAND ROOF REPLACEMENT AND ADDITIONAL TOWN SQUARE AMENITIES

Seek funding for Shelterhouse Renovation, Bandstand Roof replacement and additional Town Square amenities.



Project Location Map
■ Hope Town Square

Benefit: make Town Square more effective and sustainable.

Scope:

- Shelterhouse Renovation: Public restrooms, storage space and kitchen addition, extend and hook up utilities, modifications to reveal brick piers as arcade, deck and steps on east end, replace existing roof with open truss system and new cedar shake roofing, and west wall weather protection.
- Bandstand: replace cedar shake roofing.
- Town Square: considerations include new driveway and retaining wall to Shelterhouse from Harrison Street to access kitchen and to service building, install brick piers at mid block pedestrian entrances, install wayfinding signs at brick corner plazas, and new playground swings.

Probable Budget Cost Range Detail (2017 numbers)

| Item Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|---|---------|--------------|---------------|---------------------|---------------------|
| Shelterhouse Renovation, Bandstand Roof Replacement and additional Town Square amenities | | | | | |
| Shelterhouse Renovations | | | | | |
| 1 Demolition | LS | \$5,000.00 | \$10,000.00 | | |
| 2 Water Line supply and hook up | LS | \$10,000.00 | \$12,000.00 | | |
| 3 Sewer Force Main extension and hook up | LF | \$24,000.00 | \$30,000.00 | | |
| 4 Electrical | LS | \$10,000.00 | \$12,000.00 | | |
| 5 New Roof Structure | SF | \$22,240.00 | \$33,360.00 | | |
| 6 Cedar Shake Shingle Roof | SF | \$27,800.00 | \$33,360.00 | | |
| 7 Shelter modifications - open up sides, reconfigure storage rooms | SF | \$6,600.00 | \$8,250.00 | | |
| 8 Restrooms | SF | \$40,500.00 | \$54,000.00 | | |
| 9 Kitchen | LS | \$35,000.00 | \$50,000.00 | | |
| 10 Hope Lights | EA | \$8,000.00 | \$10,000.00 | | |
| 11 Glazed End Wall | SF | \$3,520.00 | \$4,400.00 | | |
| 12 Deck and steps | SF | \$4,200.00 | \$5,250.00 | | |
| SUBTOTAL | | | | \$196,860.00 | \$262,620.00 |
| Bandstand Renovations | | | | | |
| 13 Cedar Shake Shingle Roof | SF | \$6,250.00 | \$7,500.00 | | |
| SUBTOTAL | | | | \$6,250.00 | \$7,500.00 |
| Town Square Amenities | | | | | |
| 14 Compacted Aggregate, No. 53 base, 6" depth | TON | \$6,750.00 | \$7,500.00 | | |
| 15 PCCP Heavy Duty Driveway 9 in | SYS | \$10,875.00 | \$11,600.00 | | |
| 16 Driveway Retaining Wall | SF Face | \$13,125.00 | \$17,500.00 | | |
| 17 Wayfinding sign pole | EA | \$3,000.00 | \$4,000.00 | | |
| 18 Brick piers with planters | EA | \$27,000.00 | \$33,000.00 | | |
| 19 Foundations | CY | \$21,500.00 | \$23,650.00 | | |
| 20 Bollards with railing along perimeter sidewalks | LF | \$25,500.00 | \$35,700.00 | | |
| 21 New Playground Swings | LS | \$15,000.00 | \$25,000.00 | | |
| SUBTOTAL | | | | \$122,750.00 | \$157,950.00 |
| TOTAL | | | | \$325,860.00 | \$428,070.00 |
| 22 Mobilization (5%) | | | | \$16,293.00 | \$21,403.50 |
| 23 Design and Engineering | | | | \$48,879.00 | \$64,210.50 |
| GRAND TOTAL | | | | \$391,032.00 | \$513,684.00 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, subsurface infrastructure and utility conditions, the bidding climate and level of finishes and design options selected in final design.

WASHINGTON AND HARRISON FRONTAGES ON TOWN SQUARE STREETScape

Seek funding for Washington and Harrison Frontages on Town Square Streetscape



Project Location Map
■ Washington & Harrison Frontages on Town Square

Benefit: Improve the safety, accessibility and appearance of the streetscape in the Washington and Harrison blocks fronting the Town Square.

Scope: Considerations include milling and resurfacing pavement for new parking pattern striping and enlarged tree islands, mid-block crosswalks, curb bump-out at intersections, streetscape planting areas, new street furnishings, and landscape enhancements.

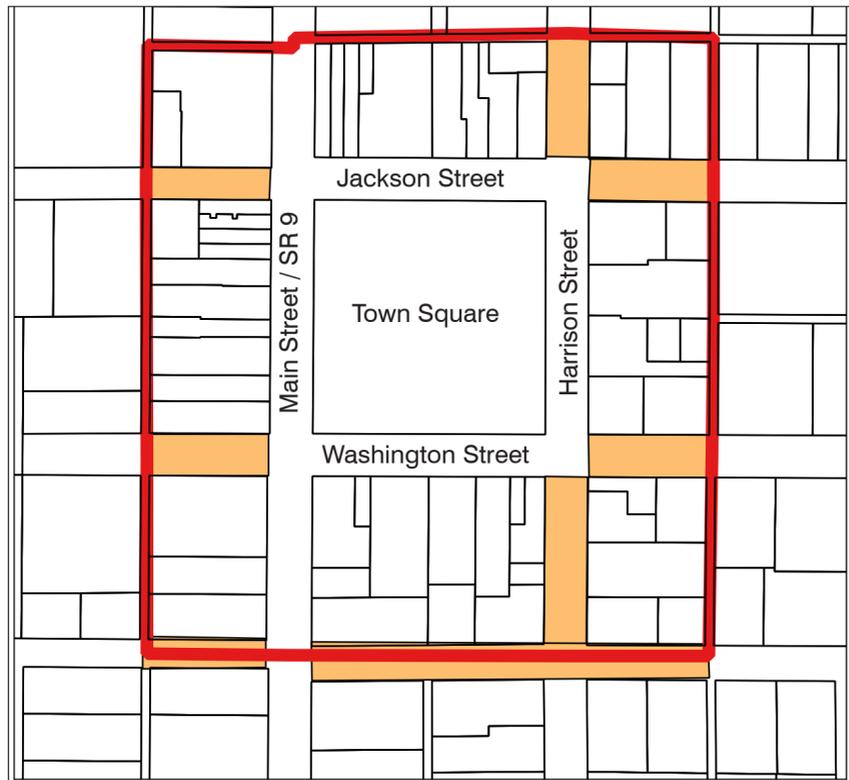
Probable Budget Cost Range Detail (2017 numbers)

| Item Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|---|------|--------------|---------------|---------------------|---------------------|
| Washington & Harrison Frontages on Town Square Streetscape | | | | | |
| 1 Demo Sidewalk | SY | \$16,100.00 | \$32,200.00 | | |
| 2 Curb Removal | LF | \$600.00 | \$2,000.00 | | |
| 3 Bituminous Cold Planing, up to 3" | SY | \$5,556.00 | \$11,112.00 | | |
| 4 Concrete Cold Planing, up to 3" | SY | \$3,000.00 | \$3,250.00 | | |
| 5 Sidewalk repair for safety | SY | \$13,500.00 | \$20,700.00 | | |
| 6 New decorative sidewalk | SF | \$28,175.00 | \$30,590.00 | | |
| 7 HMA, Surface, Type B, 1 inch | TON | \$17,670.00 | \$20,460.00 | | |
| 8 HMA , Intermediate, Type B, 2 inches | TON | \$35,340.00 | \$40,920.00 | | |
| 9 Curb Ramp | SY | \$9,000.00 | \$11,250.00 | | |
| 10 New Curb - 6" | LF | \$28,620.00 | \$34,980.00 | | |
| 11 New Curb - 12" | CY | \$14,500.00 | \$17,400.00 | | |
| 12 Adjust drainage structures | EA | \$2,400.00 | \$2,700.00 | | |
| 13 Line, Thermoplastic Solid, White, 4 in. | LF | \$1,071.00 | \$3,519.00 | | |
| 14 Transverse Markings, Thermoplastic, Lane Indication Arrow | EA | \$650.00 | \$850.00 | | |
| 15 Transverse Markings, Thermoplastic, Stop Line, 24 in | LF | \$210.00 | \$255.00 | | |
| 16 Speciality Pavement Marking (mid-block pedestrian crossing) | SF | \$43,120.00 | \$49,000.00 | | |
| 17 Sign Post, Square, 1, Reinforced Anchor Base | EA | \$60.00 | \$80.00 | | |
| 18 Sign Sheet, Encapsulated Lens with Legend, 0.080 in thickness | SF | \$640.00 | \$720.00 | | |
| 19 Streetscape furnishings | LS | \$30,000.00 | \$40,000.00 | | |
| 20 Landscape Bed Edging | LF | \$12,000.00 | \$14,400.00 | | |
| 21 Landscape Shrubs and/or Perennials | SF | \$12,800.00 | \$19,200.00 | | |
| 23 Shade Trees | EA | \$4,200.00 | \$5,100.00 | | |
| 24 Mulch and Planting Soils | SY | \$3,600.00 | \$5,400.00 | | |
| SUBTOTAL | | | | \$282,812.00 | \$366,086.00 |
| TOTAL | | | | \$282,812.00 | \$366,086.00 |
| 25 Mobilization (5%) | | | | \$14,140.60 | \$18,304.30 |
| 26 Design and Engineering | | | | \$42,421.80 | \$54,912.90 |
| GRAND TOTAL | | | | \$339,374.40 | \$439,303.20 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, subsurface infrastructure and utility conditions, the bidding climate and level of finishes and design options selected in final design.

MAIN STREET DISTRICT TRANSITION BLOCKS STREETScape

Seek funding for Main Street District Transition Blocks Streetscape



Project Location Map
 Main Street District Transition Blocks

Benefit: Improve the safety, accessibility and appearance of the Main Street District Transition Blocks and extend walking and buggy tour range.

Scope: Considerations include milling and resurfacing pavement for new parking pattern striping, curb bump-outs at intersections, sidewalks, streetscape planting areas, and landscape enhancements.

Probable Budget Cost Range Detail (2017 numbers)

| Item | Description | Unit | Subtotal Low | Subtotal High | TOTAL LOW | TOTAL HIGH |
|--|---|------|--------------|---------------|---------------------|---------------------|
| Transition Block Streetscape Improvements | | | | | | |
| 1 | Selective Sidewalk Demolition | SY | \$8,050.00 | \$16,100.00 | | |
| 2 | Curb Removal | LF | \$6,240.00 | \$20,800.00 | | |
| 3 | Bituminous Cold Planing, up to 3" | SY | \$13,890.00 | \$27,780.00 | | |
| 4 | Concrete Cold Planing, up to 3" | SY | \$7,500.00 | \$8,125.00 | | |
| 5 | Sidewalk repair for safety | SY | \$144,900.00 | \$222,180.00 | | |
| 6 | New sidewalk | SF | \$28,175.00 | \$30,590.00 | | |
| 7 | HMA, Surface, Type B, 1 inch | TON | \$44,175.00 | \$51,150.00 | | |
| 8 | HMA, Intermediate, Type B, 2 inches | TON | \$88,350.00 | \$102,300.00 | | |
| 9 | Curb Ramp | SY | \$15,000.00 | \$18,750.00 | | |
| 10 | New Curb - 6" | LF | \$8,640.00 | \$10,560.00 | | |
| 11 | Adjust drainage structures | EA | \$6,000.00 | \$6,750.00 | | |
| 12 | Transverse Markings, Thermoplastic, Stop Line, 24 in | LF | \$525.00 | \$637.50 | | |
| 13 | Sign Post, Square, 1, Reinforced Anchor Base | EA | \$120.00 | \$160.00 | | |
| 14 | Sign Sheet, Encapsulated Lens with Legend, 0.080 in thickness | SF | \$1,280.00 | \$1,440.00 | | |
| 15 | Flowering Trees | EA | \$500.00 | \$600.00 | | |
| 16 | Shade Trees | EA | \$10,500.00 | \$12,750.00 | | |
| 17 | Mulch and Planting Soils | SY | \$16,800.00 | \$25,200.00 | | |
| | SUBTOTAL | | | | \$400,645.00 | \$555,872.50 |
| | TOTAL | | | | \$400,645.00 | \$555,872.50 |
| 18 | Mobilization (5%) | | | | \$20,032.25 | \$27,793.63 |
| 19 | Design and Engineering | | | | \$60,096.75 | \$83,380.88 |
| | GRAND TOTAL | | | | \$480,774.00 | \$667,047.00 |

Note: probable budget based on concept sketch design level with an accuracy level of +/- 20%. Final cost dependent on current unknowns, subsurface infrastructure and utility conditions, the bidding climate and level of finishes and design options selected in final design.

FUNDING OPTIONS

Funding for projects in the Town Square can come from various sources, mostly at the state level. They are targeted at different types of projects, and for different types of recipients. Listed below are four types of aid recipients, along with the programs they might be eligible for. Expanded information on each program is given in the list that follows.

Private Property Owners

- Historic Preservation Tax Credits (State and Federal)
- Residential Historic Preservation Tax Credit
- Rehabilitation Tax Deduction
- Historic Renovation Grant Program (OCRA)
- Low Income Housing Tax Credit for multi-unit housing development

Not-for Profits

- Historic Preservation Fund Grants
- Place-Based Initiatives Fund Grants
- Endangered Places Grants
- Partners in Preservation National Register Grants

Main Street

- Place-Based Initiatives Fund Grants
- Main Street Revitalization Program in collaboration with Town Government
- Downtown Enhancement Grant Program
- Endangered Places Grants

Town Government

- Historic Preservation Fund Grants
- Place-Based Initiatives Fund Grants
- Main Street Revitalization Program in collaboration with Main Street
- Downtown Enhancement Grant Program
- Public Facilities Program
- Endangered Places Grants
- Workforce Development Grants
- Indiana DNR Recreational Trails Program
- Indiana DNR Hometown Indiana Grant Funds

HISTORIC PRESERVATION TAX CREDITS

Town Square is part of a larger Historic District listed on the National Register of Historic Places. Thus certified renovations to buildings identified as contributing to the district are eligible for Historic Preservation Tax Credits from both the Federal and State governments. The renovation must meet certain standards, including compliance with the Secretary of the Interior's Standards.

The two programs each give a tax credit worth 20% of the cost of the renovation (for a total of 40%). The programs are essentially identical; both are administered by the Indiana Division of Historic Preservation and Archaeology. There is, unfortunately, a backlog of over a decade before the State credit can be claimed, due to inaction by the Legislature. Due to this backlog, few people find it worthwhile applying for the State credit.

Requirements for the program include:

- The property must be income producing (not a single family residence).
- Compliance with the Secretary's Standards
- Proper completion of documentation, which includes approval of the proposed work and inspection after completion.
- The renovation must be "substantial".
- Other requirements as given in the regulations.

Before beginning work, seeking the assistance of a professional familiar with the programs is strongly advised.

More information can be found at:

Federal

- National Park Service, Tax Incentives for Preserving Historic Properties <https://www.nps.gov/tps/tax-incentives.htm>
- National Park service, IRS FAQ's <https://www.nps.gov/tps/tax-incentives/before-apply/irs-faq2.htm>

State

- Indiana DNR, Investment Tax Credits: <http://www.in.gov/dnr/historic/3680.htm>

OTHER STATE TAX RELIEF PROGRAMS

- Rehabilitation Investment Tax Credit:
Indiana taxpayers who rehabilitate historic structures, commercial properties and private homes, can qualify for a property tax deduction if the work increases the assessed value of the building. Deductions are limited to the historic portion of existing buildings that are at least 50 years old and cost at least \$10,000.
- Low Income Housing Tax Credit <http://www.in.gov/dnr/historic/3680.htm>
The federal Low Income Housing Tax Credit can be combined with the RITC to rehabilitate historic structures that will provide affordable housing. The federal government also provides certain tax incentives for the creation of rural housing.

FUNDING OPTIONS

- Residential Historic Preservation Tax Credit: <http://www.in.gov/dnr/historic/3679.htm>
Renovation of owner-occupied historic residences can also qualify for a 20% tax credit. Although this probably does not apply to any buildings in the town square area, it should be of interest to many residents of Hope.

GRANTS

Indiana DNR

- Historic Preservation Fund Grants: <http://www.in.gov/dnr/historic/3671.htm>
A matching grant program for historic renovation projects. Grants for “bricks and mortar” projects have a maximum of \$50,000 and require a match of at least 50% of project cost. Private property owners are not eligible for the grants, but governments (City, County, and State), educational institutions and not-for-profit organizations are. All work must comply with the Secretary of the Interior’s Standards.
- Recreational Trails Program (RTP) <https://secure.in.gov/dnr/outdoor/2602.htm>
An 80/20 federal aid grant managed by DNR for awards between \$10,000 - \$150,000 to fund land acquisition and/or the development, maintenance, and ethics education of multi-use trails. Applications due May 1. The walking path in the Hope Town Square may be eligible.

Office of Community and Rural Affairs (OCRA)

- Historic Renovation Grant Program: <http://www.in.gov/ocra/hrgp.htm>
A matching grant program for “bricks and mortar” projects. Grants between \$10,000-\$100,000. and require a match of at least 65% of project cost. Private property owners and non-profits are eligible for the grants, and the property must be commercial in nature (income-producing). All work must comply with the Secretary of the Interior’s Standards.
- Place-Based Initiatives Fund: <http://www.in.gov/ocra/pbif.htm>
Grants from \$20,000-\$50,000 for innovative projects that “promote quality of life, improve tourism experiences and develop multi-purpose gathering places.” Applicants must include at least two organizations, such as a local government, non-profit, Main Street, school, etc. Match of 150% of grant amount; up to 50% of grant can be in-kind.
- Main Street Revitalization Program: <http://www.in.gov/ocra/2583.htm>
Funded by Community Development Block grants from the Federal government. Can be used for streetscape improvements, façade renovations and infrastructure improvements. Up to a maximum of \$500,000 for projects which promote economic development in downtown areas and enhance the quality of life in the community. The goal of the

program is to encourage Main Street communities with eligible populations to focus on long-term community development within the downtown area. This program will work in conjunction with the Indiana Main Street Program and the overall goals and strategies for the Main Street revitalization. Applicant must have a designated active Indiana Main Street group and other qualifying requirements. Match of 20% of the total project amount; up to 5% of grant match can be in-kind.

- Downtown Enhancement Grant Program: <http://www.in.gov/ocra/2362.htm>
Grants from \$5,000-\$10,000 to support and promote community based planning, pre-development, and research initiatives. The goal of these projects is to improve the quality of life and opportunities for increasing private investment and employment in Indiana Main Street (IMS) communities. Projects can include: façade renovations or rehabilitations, creation of wayfinding signage, streetscape/landscaping, mural restoration and other more permanent improvements. Applicant must be a Main Street community and have completed other qualifying requirements. Match of 150% of grant amount; up to 50% of grant can be in-kind.
- Public Facilities Program: <http://www.in.gov/ocra/2699.htm>
Grants for community facilities that enhance the lives of residents. Libraries, museums, community centers, and performance spaces. In addition to community facilities, historic preservation projects are eligible.

Indiana Landmarks

- Endangered Places Grants: <https://www.indianalandmarks.org/resources/grants-and-loans/>
Grants of up to \$2500 to study or otherwise plan for the rehabilitation of a historic property. Available to a registered non-profit in Indiana. Requires local match.
- Partners in Preservation National Register Grants: <https://www.indianalandmarks.org/resources/grants-and-loans/>
Grants of up to \$2500 to assist with the preparation of a National Register of Historic Places nomination. Requires local match.

TRANSPORTATION FUNDING

Metropolitan Planning Organizations (MPOs) are authorized under federal law for setting policy and carrying out planning for an integrated transportation system. MPOs are established in Urbanized Areas with more than 50,000 people. The Columbus Area Metropolitan Planning Organization's (CAMPO) has two jurisdictions: a planning area and an urbanized area.

Federal transportation funds are dispensed in Indiana to INDOT, the MPOs, and local governments. Before its MPO was formed, the Columbus area received funds as a local government directly from INDOT through a competitive process. As an MPO (CAMPO), it now receives dedicated funds each year for transportation projects.

The CAMPO **planning area** includes Bartholomew County, thereby including Hope.

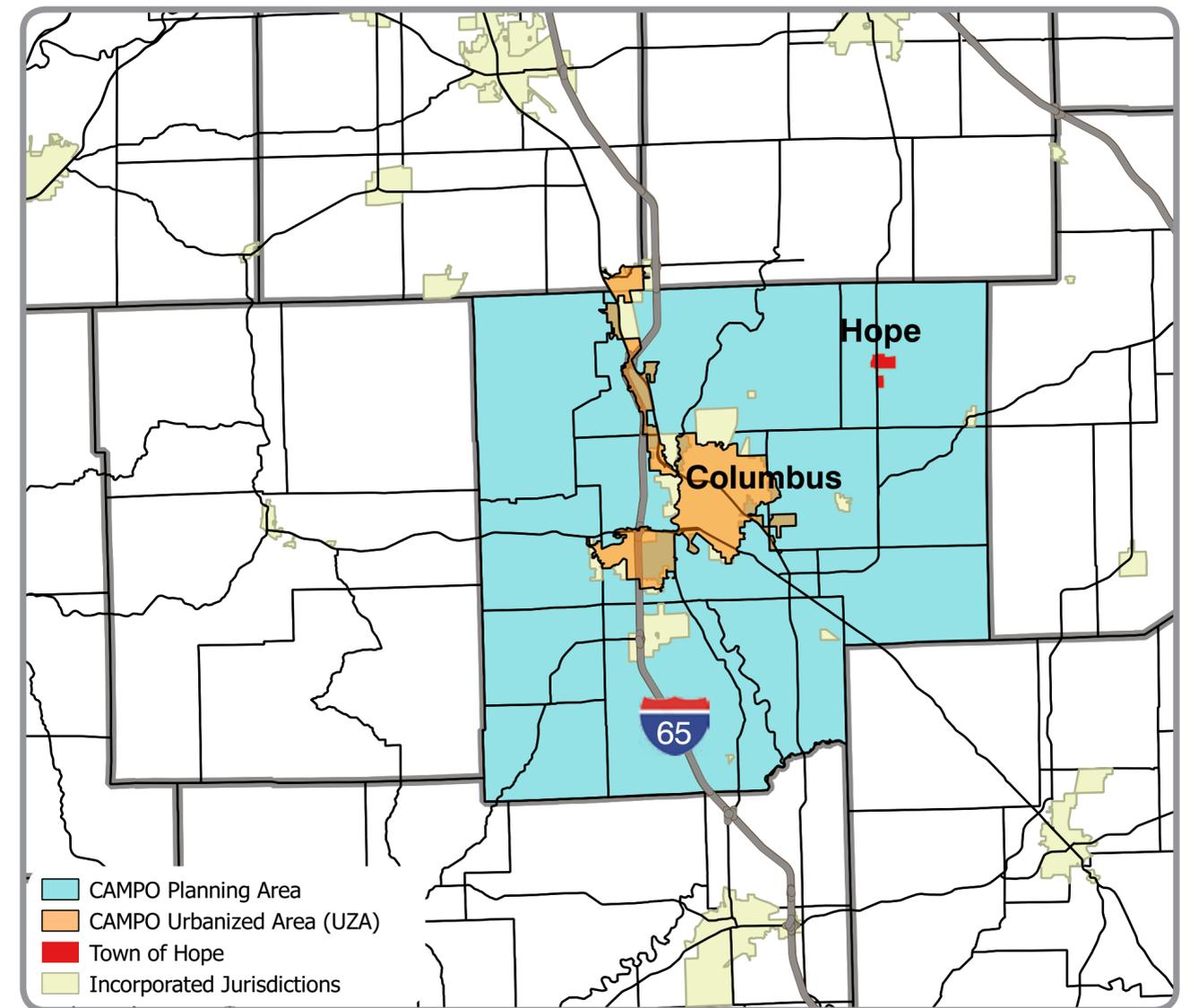
The CAMPO **urbanized area** boundary, shown in the adjacent map, does not include the rural areas of Bartholomew County, thereby excluding Hope.

Hope can apply to either INDOT or the CAMPO for transportation funding. Both processes are competitive.

For most federally-funded planning and construction projects, a local match of 20-25% is required. "Calls for projects" are issued by both INDOT and the CAMPO, and coordination is required with both or either entity to ensure a project will be eligible.

"Calls for projects" are not always issued each year, but are based on each agency's planning process. The CAMPO 2018-2021 Transportation Improvement Program (TIP) will accept project applications in 2019. A typical project can take 3-6 years from the initial application. Therefore coordination and application should occur as early as possible. The funding match by Hope will not be due until the project is let for bidding which allows the town to accrue funds for the project match over multiple years.

The proposed SR 9 Front Door project for Hope, regardless of its funding mechanism, will require coordination and approval by INDOT as a state road.



Columbus MPO (CAMPO) Urbanized Area Map

Source 1: 2016 Tiger Line Shape File:

<https://www.census.gov/cgi-bin/geo/shapefiles/index.php?year=2016&layergroup=Urban+Areas>

Source 2: FHWA HEPGIS Data Shape File:

<https://hepgis.fhwa.dot.gov/fhwagis/DownloadForm.html>



Additional Resources

Funding Presentation: http://www.in.gov/ocra/files/Session_9_INDOT_IMS_Conference_10.20.11.pdf. Even though this presentation is a few years old, it has useful information.

Indiana House Bill 1002 established Indiana fuel tax increases as of July 1, 2017 that may make additional state transportation funding available to local jurisdictions such as Hope. Funding is anticipated to be available 2019-2020.

Community Crossings Program: <http://www.in.gov/indot/2390.htm>

It was reauthorized by the legislature in 2017 and has favorable funding for small towns (75% state/25% local).

Appendix | Downtown Hope Revitalization Plan

APPENDIX PURPOSE

The appendix is a record of the decisions that shaped the plan and provides detailed technical information received from INDOT.

Project Meeting Record

- 3 01/19/2017 - Working Group Meeting Notes
- 6 02/10/2017 - Working Group Meeting Notes
- 9 02/10/2017 - SWOT (Strengths Weaknesses Opportunities and Threats) Summary
- 10 03/16/2017 - Working Group Meeting Notes
- 13 03/30/2017 - Public Workshop Notes
- 18 04/20/2017 - Working Group Meeting Notes
- 21 04/27/2017 - Public Workshop Notes
- 22 05/18/2017 - Working Group Meeting Notes
- 26 06/13/2017 - Working Group Meeting Notes
- 28 Focus Group Meetings Notes - all combined
- 32 Regional Bike Map received May 8, 2017 provided by Randy Sims
- 33 Hope Heritage Days Town Square Map provided by Randy Sims
- 34 Hope Heritage Days Parade Route and Layout provided by Randy Sims

SR 9/Main Street Traffic Counts provide by INDOT

- 35 SR 9 Pedestrian and Vehicular Safety Interventions - SKA Summary
- 36 Letters to INDOT from the Town of Hope
- 37 Summary of SR 9 Traffic Data

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| | | | |
|---------------|---|-------------|---|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170210_1612_final.docx | | |
| Meeting Date: | January 19, 2017 | Issue Date: | February 100, 2017 (revised to landscape format for report) |
| Location: | Town Hall | Time: | 6 PM – 7:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Working Group Meeting | | |

1 Introductions

- a] Consultant Team (CT) members Meg Storrow, John Kinsella & Louis Joyner introduced themselves.
- b] Working Group (WG) members Vicki Gardner, Barb Johnson, Pete Law, Dr. Greg Sweet, Jean Marr Wilkins, Jessica Brown, Chris Ogle, Trena Carter, Diane Burton, JT Doane, and Andrea Deutsch introduced themselves.

2 Scope of the Project

The CT is undertaking, with the help of the WG, to develop a Downtown Revitalization Plan for Hope that includes the following elements:

- 1 Vision, Goals
- 2 Streetscape and Urban Design Recommendations
- 3 Land Uses and Building Façade Recommendations
- 4 Implementation Strategies

3 Project Schedule

| | |
|--------------------------|-------------------|
| WG Meeting 1 | January 19, 6 PM |
| WG Meeting 2 | February 16, 6 PM |
| Focus Group Meetings | February 16 |
| Meeting 3 | March 17, 6 PM |
| Public Workshop | March, date TBD |
| WG Meeting 4 | April 21, 6 PM |
| Investment Group Meeting | April, date TBD |
| Draft Plan | April, date TBD |
| Public Meeting | April, date TBD |
| Final Plan | May, date TBD |

4 Discussion Item: Focus Groups

The CT intends to hold additional meetings with local experts on the following topics. It was determined that the Town Manager and Clerk Treasurer would assist the CT in setting up the meetings and represent the WG. All members of the WG are invited to attend if their individual schedule allows.

- 1 Streetscape, Town Square, Infrastructure
Tentative meeting date: 2/16 – after 1:30
 Local expert: David Clouse, Utility Superintendent; separate meeting with Columbus MPO and Bartholomew County Engineer will follow.
- 2 Events
Tentative Meeting date: 2/16 if possible
 Local Experts: Michael Dean (Hope Heritage Days), Chelsea Kendell (Community Center), Barb Johnson and Debbie (Yellow Trail Museum), JT Doane (Hope Chamber), and Dave Miller (Library)
- 3 Culture and Heritage
Tentative Meeting date TBD
 Local Experts: Barb Johnson and Debbie (Yellow Trail Museum), Chuck Baker (Historian), Susan Thayer Fye (Main Street)
- 4 Land Uses and Needs in Downtown
Tentative Meeting date TBD
 Local Experts: Donja Taylor, Vicki Gardner

SKA Meeting Notes 1/19/2017
 Working Group Meeting | Hope Downtown Revitalization Plan

Page 2 of 2
 SKA Project No. 1612

- 5 Building Condition and Facades
Tentative Meeting date TBD
 Local Experts: Ken Patton and Mike Deckard

- 6 Discussion: Town Hall Coordination Report**
 The CT reviewed their recommendations provided to the Town Hall consultant to coordinate their work with the objectives and goals of the Downtown Revitalization Plan. Copies were provided to the Town Manager for distribution.

- 5 Discussion: SWOT** (Strengths, Weaknesses, Opportunities, Threats) **for downtown Hope**
 A handout was provided to guide the discussion. See attachment for summary.

Next Meeting: February 16, 6 PM

attachments Sign-In Sheet, SWOT Discussion Summary

delivery Email

reply/contact Meg Storrow, storrow@storrowkinsella.com
 John Kinsella, storrow@storrowkinsella.com

**WORKING GROUP SIGN IN
TOWN OF HOPE DOWNTOWN REVITALIZATION PLAN**

| 1/19 Attend | Town of Hope | | | | | | |
|-------------|-------------------------|-----------|-------------------------------|--------------------------------------|--|----------------|----------------|
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Jerry | Brag | At-Large | Town Council | jbragg@townofhope.com | | |
| | Clyde | Compton | President | Town Council | ccompton@townofhope.com | | |
| | Ohmer | Miller | Ward 3 | Town Council | omiller@townofhope.com | | |
| | Greg | Sims | Ward 2 | Town Council | gsims@townofhope.com | | |
| | Jonathan | Titus | Vice-President | Town Council | jtitus@townofhope.com | | |
| | Diane | Burton | Clerk-Treasurer | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Town Manager | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Main Street Hope | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Michael | Dean | | Main Street Hope | the5deans@aol.com | (812) 371-0472 | |
| X | Vicki | Gardner | | Main Street Hope | vicki.s.gardner@gmail.com | (812) 343-0546 | |
| X | Barb | Johnson | | Main Street Hope | johnsonbarb@yahoo.com | (812) 546-4877 | |
| X | Pete | Law | Treasurer | Main Street Hope | plaw_teach@hotmail.com | (812) 546-4877 | |
| | Ashley | Norman | Vice-President | Main Street Hope | adnorman1@gmail.com | (812) 546-4770 | |
| | Ken | Patton | | Main Street Hope | ken@pattonhomesinc.com | (812) 447-0064 | |
| X | Dr. Greg | Sweet | President | Main Street Hope | drmgsweet@sbcglobal.net | (812) 546-2222 | |
| | Tabatha | Tallent | Secretary | Main Street Hope | ttallent@live.com | (812) 390-2406 | |
| X | Jessica | Brown | Design Committee | Main Street Hope | jdeckard@deckard-tool.com | (812) 546-5619 | |
| X | Jean Marr | Wilkins | | Main Street Hope | jeanmarr.wilkins@gmail.com | (812) 374-4902 | |
| | Larry | Kleinhenz | Ex Officio | Bartholomew County Commissioner | dlonderee@bartholomew.in.gov | (812) 350-0052 | |
| X | Chris | Ogle | Ex Officio | Bartholomew County Council | chriswogle@yahoo.com | (812) 376-9275 | |
| X | Trena | Carter | Ex Officio | Administrative Resources association | tcarter1@aracities.org | (812) 376-9949 | (812) 343-7991 |
| X | Diane | Burton | Ex Officio | Town of Hope | clerktreasurer@townofhope.com | | |
| X | JT | Doane | Ex Officio | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Consultant Team | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| X | Louis | Joyner | Architect | Louis Joyner Architect | louis@ljarchitect.com | (812) 376-7088 | |
| | Ellen | Bowman | | Louis Joyner Architect | ellen@ljarchitect.com | (812) 376-7088 | |
| X | John | Kinsella | Urban Designer | Storrow Kinsella Associates | kinsella@storrowkinsella.com | 317-639-3420 | |
| X | Meg | Storrow | Planner Landscape Architect | Storrow Kinsella Associates | storrow@storrowkinsella.com | 317-639-3420 | |
| | Guests | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| X | Andrea | Deutsch | | OCRA | | | |

SKA Meeting Notes 2/16/2017
Working Group Meeting | Hope Downtown Revitalization Plan

Page 1 of 2
 SKA Project No. 1612

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|---------------|---|-------------|--|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170210_1612_final.docx | | |
| Meeting Date: | February 16, 2017 | Issue Date: | February 20, 2017 (revised to landscape format for report) |
| Location: | Town Hall | Time: | 6 PM – 7:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Working Group Meeting | | |

1 Introductions

- a] Consultant Team (CT) members Meg Storrow, John Kinsella & Louis Joyner.
- b] Working Group (WG) members Susan Thayer Fye, Dr. Greg Sweet, Tabatha Talent, Vicki Gardner, Jessica Brown, Pete Law, Jean Marr Wilkins, Trina Newton, Andrea Deutch, JT Doane, Diane Burton.

- Most sidewalks and curbs upgraded in 1992 – beginning to age
- Playground – replaced soft surface three years ago
- Employees park on Harrison and Washington
- Events manage themselves
- Follow up meeting will be held with the County Engineer, MPO and INDOT.

2 Review Meeting 1 Outcomes and Discussion

- a] Meeting notes from January were reviewed.
- b] Distributed and discussed a spreadsheet analysis of a Strengths, Weaknesses, Opportunities and Threats (SWOT) exercise and follow-up email comments organized into the following categories:
 - Town/Environment/Infrastructure
 - Land Uses and Needs in Downtown
 - Building Conditions and Facades
 - Culture and Heritage

2. Events [attending: Susan Thayer Fye (Mainstreet), Randy Sims (Hope Heritage Days), Chelsea Kendall (Community Center), Barb Johnson and Susan Dodd (Yellow Trail Museum), Dave Miller (Library), JT Doane (Hope Chamber)]
 - Frequent, attendance robust (30-50,000 Hope Heritage Days!)
 - Largely free and supporting local non-profits
 - Mostly volunteer run and operated
 - Most draw from adjacent counties
 - Heritage Days and Bike Ride are more regional
 - Would like more publicity, ways to get the word out

3 Update on Focus Groups

- a] Presented an overview of Focus Group 1 & 2 discussions that had happened earlier that day; (meeting notes to follow):
 1. Infrastructure [attending: David Clouse, JT Doane, Diane Burton]
 - Street lighting is aging, owned by Duke at a per pole cost
 - Restrooms in park will require sewer line installation
 - Resurfacing would be nice, will be expensive

- b] Next month focus groups will be held on the following topics:
 - 1 Land Uses and Needs in Downtown
 - 2 Building Condition and Facades
 - 3 Culture and Heritage

4 Preliminary Infrastructure Concepts

- a] Discussed analysis and preliminary ideas for improved traffic management along SR-9 and on local streets around the square. There was consensus to further develop those ideas, with an emphasis on SR-9 safety, for the March Working Group meeting prior to exploratory discussions



with the MPO and INDOT. It was agreed that changes to familiar traffic patterns can be contentious, and for them to be successful and accepted by the community they will need to be fully supported by the Working Group and Town officials before being presented to the public.

- b] Discussed analysis and broad recommendations for town square park improvements, including: a more continuous and accessible path system; improved setting for the otherwise successful playground; improvements to the shelter, including restroom options, relate its style to the historic vernacular of the gazebo and downtown commercial structures on the square; enhance the gazebo as a performance venue with improved audience seating area and improved accessibility.
- c] Discussed ways to reintroduce street trees along the business frontages in a way that strengthens the parklike character of downtown while not impeding visibility of businesses.
- d] Discussed the observation that residential streets emanating from the square seemed relatively uninviting, with vacant lots and few street trees, and how extending a town square tree line into those neighborhoods might strengthen their value, appeal and visual association with downtown. WG members commented that sidewalks, alleys and streets need repair in the downtown housing area.
- e] Cultural Heritage was discussed regarding the strong Moravian influence on Hope's history and its current population with 25% Moravian roots. How to express that unique strength in the downtown's form and design identity

while maintaining a clear distinction between *cultural* expression and *religious* expression is a concern, since the latter has been a contentious issue in other communities.

5 Next Steps

- a] March 16 afternoon: Focus Group meetings addressing, Land Use & Needs, Building Condition & Facades, Culture & Heritage.
- b] March 16: 6 PM, Working Group 3 meeting
 Agenda: Present and discuss preliminary concepts for building façade guidelines, strategies for renovation and new construction, streetscape. Review strategies for improving SR 9 vehicular and pedestrian safety characteristics.
- c] March 30: 6 PM, Public Meeting
 Agenda: Draft plan presentation and discussion as an interactive workshop.
 Getting the word out: press release, social media, HS Online, flyer (and its distribution/posting), meeting venue (100+/- capacity, flexible space). JT Doane and Susan Thayer Fye will collaborate on options with assistance from the CT as needed.

Next Meetings

Working Group: March 16, 6 PM

Public Workshop: March 30, 2017

| | |
|---------------|--|
| attachments | Sign-In Sheet, SWOT Discussion Summary |
| delivery | Email |
| reply/contact | Meg Storrow, storrow@storrowkinsula.com John Kinsella, storrow@storrowkinsula.com |

**WORKING GROUP SIGN IN
TOWN OF HOPE DOWNTOWN REVITALIZATION PLAN**

| 2/16/attend | Town of Hope | | | | | | |
|-------------|-------------------------|------------|-------------------------------|--------------------------------------|--|----------------|----------------|
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Jerry | Brag | At-Large | Town Council | jbragg@townofhope.com | | |
| | Clyde | Compton | President | Town Council | ccompton@townofhope.com | | |
| | Ohmer | Miller | Ward 3 | Town Council | omiller@townofhope.com | | |
| | Greg | Sims | Ward 2 | Town Council | gsims@townofhope.com | | |
| | Jonathan | Titus | Vice-President | Town Council | jtitus@townofhope.com | | |
| X | Diane | Burton | Clerk-Treasurer | Town of Hope | clerktreasurer@townofhope.com | | |
| X | JT | Doane | Town Manager | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Main Street Hope | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Michael | Dean | | Main Street Hope | the5deans@aol.com | (812) 371-0472 | |
| X | Susan | Thayer Fye | Excutive Director | Main Street Hope | stf925@sbcglobal.net | | |
| | Vicki | Gardner | | Main Street Hope | vicki.s.gardner@gmail.com | (812) 343-0546 | |
| | Barb | Johnson | | Main Street Hope | johnsonbarb@yahoo.com | (812) 546-4877 | |
| M | Pete | Law | Treasurer | Main Street Hope | plaw_teach@hotmail.com | (812) 546-4877 | |
| | Ashley | Norman | Vice-President | Main Street Hope | adnorman1@gmail.com | (812) 546-4770 | |
| | Ken | Patton | | Main Street Hope | ken@pattonhomesinc.com | (812) 447-0064 | |
| D. Sweet | Dr. Greg | Sweet | President | Main Street Hope | drmgsweet@sbcglobal.net | (812) 546-2222 | |
| D. Tallent | Tabatha | Tallent | Secretary | Main Street Hope | ttallent@live.com | (812) 390-2406 | |
| X | Jessica | Brown | Design Committee | Main Street Hope | jdeckard@deckard-tool.com | (812) 546-5619 | |
| X | Jean Marr | Wilkins | | Main Street Hope | jeanmarr.wilkins@gmail.com | (812) 374-4902 | |
| | Larry | Kleinhenz | Ex Officio | Bartholomew County Commissioner | dlonderee@bartholomew.in.gov | (812) 350-0052 | |
| | Chris | Ogle | Ex Officio | Bartholomew County Council | chriswogle@yahoo.com | (812) 376-9275 | |
| | Trena | Carter | Ex Officio | Administrative Resources association | tcarter1@aracities.org | (812) 376-9949 | (812) 343-7991 |
| | Diane | Burton | Ex Officio | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Ex Officio | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Consultant Team | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Louis | Joyner | Architect | Louis Joyner Architect | louis@ljarchitect.com | (812) 376-7088 | |
| | Ellen | Bowman | | Louis Joyner Architect | ellen@ljarchitect.com | (812) 376-7088 | |
| | John | Kinsella | Urban Designer | Storrow Kinsella Associates | kinsella@storrowkinsella.com | 317-639-3420 | |
| | Meg | Storrow | Planner Landscape Architect | Storrow Kinsella Associates | storrow@storrowkinsella.com | 317-639-3420 | |
| | Guests | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| X | Andrea | Deutsch | | OCRA | adeutsch@ocra.in.gov | | |
| X | Tringa | Newton | | Beautification of town | tnewton@deckard-tool.com | | |

ANALYSIS and FINDINGS
Strengths (S), Weaknesses (W), Opportunities (O), and Threats (T) Discussion
Downtown Revitalization Plan, Hope Indiana
Working Group Meeting held January 19, 2017

Town Environment/Infrastructure

| Items | S | W |
|---|---|---|
| Historic Qualities and District Designation | X | |
| Compact and walkable scale | X | |
| New pharmacy, exist. library, exist. businesses | X | |
| Town Park (“awesome living room”) | X | |
| Vitality | X | |
| Paved surface for events, park space | X | |
| Electrical infrastructure for events | X | |
| Proximity to other towns and Indy | X | |
| Existing bench/trash furnishings tired | | X |
| Light fixtures won’t support flowers banners | | X |
| ADA accessibility | | X |
| ADA Public restrooms | | X |
| SR 9 – INDOT constraints | | X |
| Less Pavement | | X |

| Items | O | T |
|--|---|---|
| New Town Hall in planning stage | X | |
| Vacant lots available for infill | X | |
| More green areas, better sidewalks | X | |
| Want to make Square more awesome | X | |
| Wayfinding signage | X | |
| Acquire SR 9 through Town (provide bypass?) | X | |
| | | |
| | | |
| | | |
| Corners of square visually bleed | | X |
| SR 9 – fast traffic – lose potential visitor traffic | | X |
| Connectivity across SR 9 | | X |
| Lack of population growth | | X |
| | | |
| | | |

Land Uses and Needs in Downtown

| Items | S | W |
|--------------------------------|---|---|
| Rental market strong | X | |
| Retail vitality | X | |
| Farmers Market | X | |
| ADA Public Restrooms | X | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| Not a lot of job opportunities | | X |
| Outdoor dining spaces | | X |
| Housing | | X |
| Parking for Events | | X |

| Items | O | T |
|--|---|---|
| Grocery store nearby? (not on square) | X | |
| Vacant lots on square | X | |
| Outdoor theater in the Park | X | |
| Alcohol at events | X | |
| Coffee shop | X | |
| Extend dining hours at exist restaurants | X | |
| Swiss Maid pressed for space | X | |
| Entertainment venues – more seating at Willow Leaves | X | |
| | | |
| Vacant lots on square | | X |
| Tax base residential – not commercial/industrial | | X |
| | | |
| | | |

Building Conditions and Facades

| Items | S | W |
|---|---|---|
| Historic quality | X | |
| Classic downtown village scale | X | |
| Little change in buildings since the 1970’s | | X |
| Quality of housing | | X |

| Items | O | T |
|---|---|---|
| New housing in vacant lot (s) | X | |
| Rents comparable to other markets (housing) | X | |
| | | |
| Many buildings falling into disrepair | | X |
| Feel like town fabric is slipping away | | X |

Culture and Heritage

| Items | S | W |
|--|---|---|
| Events & festivals (almost every month!) | X | |
| Yellow Trail Museum | X | |
| 25% Moravian Culture | X | |
| Main Street organized/energized | X | |
| | | |
| Express unique heritage – more quilts? Moravian Stars? | | X |

| Items | O | T |
|--|---|---|
| News communication networks | X | |
| BSC School communication network | X | |
| Utilize Park bandstand for other events | X | |
| | | |
| | | |
| Need communication venues notice of current events | | X |

SKA Meeting Notes 3/16/2017
Working Group Meeting | Hope Downtown Revitalization Plan

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 SKA Project No. 1612

| | | | |
|---------------|---|-------------|---|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170317_1612_final.docx | | |
| Meeting Date: | March 16, 2017 | Issue Date: | March 23, 2017 (revised to landscape format for report) |
| Location: | Town Hall | Time: | 6 PM – 7:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Working Group Meeting | | |

1 Introductions

- a] Consultant Team (CT) members Meg Storrow and John Kinsella.
- b] Working Group (WG) members Susan Thayer Fye, Dr. Greg Sweet, Jessica Brown, Pete Law, Trina Newton, Chuck Baker, Michael Dean, Barb Johnson, Diane Jekel, Janelle Gernetz, Trena Carter, JT Doane, Diane Burton.
- c] Susan introduced new members Trina Newton and Chuck Baker, who will join the Main Street design committee, Janelle Gernetz and Diane Jeckel as co-chairs for the Organization Committee, and new member Janice Whittington.

2 Review February Meeting Outcomes and Discussion

- a] Meeting notes from February were reviewed and discussed.

3 Format for Public Workshop

- a] Meg and John discussed the format and content for the upcoming Public Workshop scheduled for March 30, 2017 at the Moravian Church fellowship hall from 6–8 pm.
 1. Purpose of the meeting: to receive thoughts and feedback on the ideas presented thus far:
 - Slowing down traffic on SR 9 by four-way stops or a landscaped median.
 - Developing a connecting walkway system in the Town Square.
 - Increasing accessibility to the bandstand with a ramp from Harrison Street instead of stairs on the front side.

- Opening the front of the bandstand to performances by removing the railing and adding stairs or temporary stage.
- Adding terraced seating in front of the bandstand made with limestone or concrete blocks.
- Adding restrooms and kitchen addition to the east side of the shelterhouse.
- Adding an outdoor terrace with moveable tables and seating on the south side of the shelterhouse.
- Buffering the playground and bandstand from parked cars on Harrison Street with flowering trees.
- Softening the edges of the playground to integrate with the connecting walkway system.

- b] There will be plenty of opportunities to discuss the ideas and concepts. First an overview will be provided by a powerpoint slide show, and large format drawings will be printed and displayed for people to discuss in more detail and leave comments by post-it-notes.

- c] A flyer and press release for the public workshop were distributed. JT reported that he would make sure the public workshop was advertised.

Next Meetings:

Culture and Heritage Focus Group: March 21, 1 PM
 Public Workshop: March 30, 6 PM
 Working Group: April 20, 6 PM

attachments Sign-In Sheet



delivery Email

reply/contact Meg Storrow, storrow@storrowkinsella.com
John Kinsella, storrow@storrowkinsella.com

**WORKING GROUP SIGN IN
TOWN OF HOPE DOWNTOWN REVITALIZATION PLAN**

| 3/16/attend | Town of Hope | | | | | | |
|-------------|-------------------------|------------|-----------------------------|--------------------------------------|--|----------------|----------------|
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Jerry | Brag | At-Large | Town Council | jbragg@townofhope.com | | |
| | Clyde | Compton | President | Town Council | ccompton@townofhope.com | | |
| | Ohmer | Miller | Ward 3 | Town Council | omiller@townofhope.com | | |
| | Greg | Sims | Ward 2 | Town Council | gsims@townofhope.com | | |
| | Jonathan | Titus | Vice-President | Town Council | jtitus@townofhope.com | | |
| | Diane | Burton | Clerk-Treasurer | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Town Manager | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Main Street Hope | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| ✓ | Michael | Dean | | Main Street Hope | the5deans@aol.com | (812) 371-0472 | |
| ✓ | Susan | Thayer Fye | Excutive Director | Main Street Hope | stf925@sbcglobal.net | | |
| | Vicki | Gardner | | Main Street Hope | vicki.s.gardner@gmail.com | (812) 343-0546 | |
| ✓ | Barb | Johnson | | Main Street Hope | johnsonbarb@yahoo.com | (812) 546-4877 | |
| ✓ | Pete | Law | Treasurer | Main Street Hope | plaw_teach@hotmail.com | (812) 546-4877 | |
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| ✓ | Jessica | Brown | Design Committee | Main Street Hope | jdeckard@deckard-tool.com | (812) 546-5619 | |
| | Jean Marr | Wilkins | | Main Street Hope | jeanmarr.wilkins@gmail.com | (812) 374-4902 | |
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| | Chris | Ogle | Ex Officio | Bartholomew County Council | chriswogle@yahoo.com | (812) 376-9275 | |
| | Trena | Carter | Ex Officio | Administrative Resources association | tcarter1@aracities.org | (812) 376-9949 | (812) 343-7991 |
| | Diane | Burton | Ex Officio | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Ex Officio | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Consultant Team | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Louis | Joyner | Architect | Louis Joyner Architect | louis@ljarchitect.com | (812) 376-7088 | |
| | Ellen | Bowman | | Louis Joyner Architect | ellen@ljarchitect.com | (812) 376-7088 | |
| | John | Kinsella | Urban Designer | Storrow Kinsella Associates | kinsella@storrowkinsella.com | 317-639-3420 | |
| | Meg | Storrow | Planner Landscape Architect | Storrow Kinsella Associates | storrow@storrowkinsella.com | 317-639-3420 | |
| | Guests | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Andrea | Deutsch | | OCRA | adeutsch@ocra.in.gov | | |
| | JANELLE | GERMENTZ | | | janellegernentz@yahoo.com | 812-603-3928 | |
| | Diane | Jekel | Co-Chair Org. | | djohope@gmail.com | | 317-46-1414 |

Design Comm Chuck Baker

charlescbakeresq@gmail.com 812 546-4761

Storrow Kinsella Associates Design Committee Trina Newton

trina.newton@yahoo.com

812-344-5438

3/16/2017



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|---------------|---|-------------|---|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170317_1612_final.docx | | |
| Meeting Date: | March 30, 2017 | Issue Date: | April 20, 2017 (revised to landscape format for report) |
| Location: | Moravian Church fellowship hall | Time: | 6 PM – 8:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Public Workshop 3/20/2017 | | |

About 40 people attended the workshop. A slide show was presented to provide an overview of analysis and preliminary opportunities and ideas for consideration and feedback. Large boards were laid out so people could gather around and discuss the analysis and ideas and examine the drawings at their own pace.

An overview of downtown’s strengths and weaknesses heard to date were reviewed.

Strengths:

- 1 Historic Character
- 2 Compact and walkable downtown
- 3 Town Park - an “awesome living room”
- 4 Setting and infrastructure for events/festivals
- 5 Strong heritage

Weaknesses:

- 1 Town infrastructure appears worn
- 2 Existing benches and street furnishings need replacement
- 3 Fast traffic on Main Street/SR 9 - safety issues
- 4 Lack of trees and too much pavement downtown
- 5 Economic vitality weak/lack of business and population growth

Concepts and Activation Ideas were presented for potential projects and strategies that built on Hope strengths to address weaknesses identified through the Working Group and Focus Group meetings.

Activation Idea 1:

Build on classic Hope architecture to refresh existing buildings. Establish guidance on paint colors appropriate to the historic period of significance, provide architectural assistance if desired, for facade renovation, keep the architecture true to Hope (not Columbus, not Carmel). Consider encouraging the use of a simple awning form as a unifying element of the streetscape.

Activation Idea 2:

Slow Down SR 9 to improve pedestrian safety and cars trying to enter SR 9 traffic from the Town Square. Consider four-way stop signs at Jackson and Washington intersections. Extend line of the park edge by creating a median with lights and street trees. Maintain parking.

Activation Idea 3:

Town Square Renovations. Replace and perhaps redesign the shelter roof and consider a restroom addition. Develop a meandering pathway that provides an ADA connection to the destinations in the park. Provide tiered seating to the playground. Add understory flowering trees along Harrison Street to provide a backdrop for the park edge and minimize the visual impact of the parked cars. Consider tiered seating for the bandstand and removable railing on the stage side. Soften the edges of the playground and consider a low safety fence. Integrate the playground into the pathway system.

Activation Idea 4:

Use a simple agricultural/industrial aesthetic for street furnishings, benches, and planters. Provide historic signage for downtown buildings. Refresh the street lighting to be more historically appropriate. Celebrate the Moravian culture and Hope founders by

SKA Meeting Notes 3/30/2017
Public Workshop | Hope Downtown Revitalization Plan

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 SKA Project No. 1612

using light creatively and incorporating the Moravian star into the streetscape and town park.

Comments

Feedback from workshop participants varied. Some general comments were offered.

“New people have a fresh look at things, and provide possibilities we don’t see anymore,” said Jackie Robb Tallent, owner of Gold Nugget Pawn Shop, located on the town square. *“They help us make sense of things.”*

Ohmer Miller, Town Council member, stated that *“you (meaning the consultants) don’t understand what Hope is. We don’t need to change anything. We love Hope the way it is now.”*

Specific comments on activation ideas are summarized below.

**Comments on Activation Idea 1:
 Build on classic Hope architecture to refresh existing buildings.**

- 1 Like the idea of the Hope Awning and a consistent streetscape element.
- 2 I don’t want too many regulations on what I can do with my building, but I would support guidelines if they were voluntary.

**Comments on Activation Idea 2:
 Slow Down SR 9 to improve pedestrian safety and cars trying to enter SR 9 traffic from the Town Square.**

- 1 People don’t want to slow down going through Hope.
- 2 The down-braking by trucks would be noisy and could impact a service at the funeral home.
- 3 Need to make sure the roadway width is wide enough to accommodate farm vehicles and a delivery truck at the same time.

- 4 There is a proposal for a county-wide bike route system that currently bypasses Hope. Would you explore what it would take to extend a spur or loop to the Town Square for a bike route?
- 5 Need to make sure turning radii are big enough and that there is sufficient space for the Heritage Days parade to operate and still allow traffic on SR 9/ Main Street.
- 6 A stop sign at the Washington Street intersection would make it difficult for customers at Cornett’s Corner Cafe to get back on the highway. A pedestrian crossing with flashing lights might work better.
- 7 A new stop sign on Main Street could result in accidents caused by out-of-town truckers unfamiliar with the area.
- 8 Many people agreed that the Jackson Street intersection was a dangerous place for both motorists and pedestrians and that a stop sign might work there.
- 9 The three trees proposed for the new median would require extra taxpayer money for upkeep and maintenance.
- 10 To make Main Street wide enough for farm vehicles, would you have to eliminate parking on the west side of the street in front of the existing businesses?

**Comments on Activation Idea 3:
 Town Square Renovations.**

Generally people seemed to like the proposed ideas. Two concerns were stated:

- 1 Removing the railings on the bandstand wasn’t true to the original bandstand design.
- 2 A fence around the playground would restrict children who want to run.



**Comments on Activation Idea 4:
Use a simple agricultural/industrial aesthetic for street
furnishings, benches, and planters.**

Generally, people preferred the elegant, late 19th century Victorian-style ambiance represented by the new Hope clock, rather than an agricultural/industrial aesthetic.

| | |
|---------------|--|
| attachments | Sign-In Sheet |
| delivery | Email |
| reply/contact | Meg Storrow, storrow@storrowkinsella.com John Kinsella, storrow@storrowkinsella.com |



MEETING ATTENDEE SIGN-IN
Downtown Revitalization Plan, Town of Hope, IN

Date **March 30, 2017** Time **6 PM**
 Subject **Public Workshop** Location **Moravian Church Fellowship Hall**

| Name | Organization | Phone | Email |
|-------------------|---------------------------|----------------|--------------------------------|
| Vickie Tedder | Willow Leaves of Hope | 812-371-1621 | victoted65@yahoo.com |
| Barb Johnson | Yellow Trail / Sim. Sch | 812-371-7969 | hope.simmons.school@gmail.com |
| Laura Miller | Willow Leaves of Hope | 812-603-1010 | |
| Greg Swartz | South Chippawa | 546-2222 | |
| Judith Brown | Main Street | 812 344-4737 | brunhilda77@gmail.com |
| John Clark | White Rice - Brock | 376 4770 | JOHN.CLARK@hsjonline.net |
| Vicki Gardner | Main Street | 812-343-0546 | Vicki.S.gardner@gmail.com |
| Anna Lee | Homeowner | 812 546 5612 | |
| Chuck Baker | Main Street | (812) 546-4761 | charlescbakeresq@gmail.com |
| Mark Weber | Republic | 812 379-5636 | mwehber@threepublic.com |
| Russ Burton | Home owner | 812-350-5560 | russe@blackpearlindustrial.com |
| DAVID CLOUSE | Town of Hope | 812-371-8741 | david@hopeutilities.net |
| GENE WEVER | BARTH. CO. FIRE INSPECTOR | 812-379-1535 | gene.wever@bartholomew.in.gov |
| TOM + Diane Jekel | 15582 E. Lakeshore Dr S | 317-446-1414 | djofhope@gmail.com |
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MEETING ATTENDEE SIGN-IN

Downtown Revitalization Plan, Town of Hope, IN

Date **March 30, 2017** Time **6 PM**
Subject **Public Workshop** Location **Moravian Church Fellowship Hall**

| Name | Organization | Phone | Email |
|-------------------|-----------------------------|----------------|--------------------------------|
| Trena Carter | AKA | | |
| Pam May | resident | | pmay2@iupui.edu |
| Pat May | resident | | pmay@iupui.edu |
| Shirley Miller | RESIDENT | | |
| Ken Patton | COMMERCIAL PROP. OWNER | 812.447.0064 | |
| Carol Briggs | | | |
| Matt Hill | | 812-603-3037 | |
| Mike Crull | Hope Lions Club | 812-371-8764 | mwscurll@comcast.net |
| Marna J. Pondron | Resident | 812-546-4626 | |
| Rick Gardner | Thrive Alliance | 812-546-4534 | rickgardner1955@gmail.com |
| Margie Borlager | | 546-4722 | h.mborlager@comcast.net |
| John K Robertson | Robertson's Properties | 812-546-4456 | jsrob319@live |
| Shirley Robertson | " " | 812-546-4456 | " " " |
| David Webster | HSS Online: Hope Elementary | 812-545-5452 | websterhope@att.net |
| DAVID CLAUSE | TOWN OF HOPE | 812-371-8741 | david@hopeutilities.net |
| Ben Miller | | 812-371-1600 | bmiller63@yahoo.com |
| Diane Burton | Town of Hope | (812) 546-0423 | clerk/treasurer@townofhope.com |
| Gary & Susan Dadd | | 546-4831 | GARYANDSUSANDADD@HOTMAIL.COM |
| JT Doane | Hope Town Manager | (812) 546-6403 | townmanager@townofhope.com |
| Jamie Champlin | Resident | 812 374 2621 | JamieChamplin1@gmail.com |

SKA Meeting Notes 4/20/2017
Working Group Meeting | Hope Downtown Revitalization Plan

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 SKA Project No. 1612

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|---------------|---|-------------|---|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170420_1612_final.docx | | |
| Meeting Date: | April 20, 2017 | Issue Date: | April 27, 2017 (revised to landscape format for report) |
| Location: | Town Hall | Time: | 6 PM – 7:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Working Group Meeting | | |

1 Introductions

- a] Consultant Team (CT) members Meg Storrow, John Kinsella and Louis Joyner.
- b] Working Group (WG) members Susan Thayer Fye, Dr. Greg Sweet, Jessica Brown, Michael Dean, Barb Johnson, Diane Jekel, Trena Carter, JT Doane, and Diane Burton.

2 Building Tours and Potential Investor Meetings

- a] Susan reported that building tours and discussions with property owners and potential investors were held earlier starting at noon.
- b] She reminded the committee that all discussions regarding potential real estate investment were confidential and that the CT could incorporate generalized information into their recommendations, but not any specifics from the conversations. No meeting notes from those meetings will be issued.

3 Review March Public Meeting Outcomes

- a] The CT reported they were working on revisions to the SR 9/Main Street considerations to respond to the concerns raised at the Public Meeting, and to see if bike lanes could be incorporated into the street right-of-way. The committee liked the idea of banners on SR 9 to announce upcoming events. There was consensus that the Jackson Street intersection is dangerous. A push-button hawk pedestrian signal was discussed as an alternative to stop signs.

- b] It was noted that the INDOT traffic counts were not expected until the end of May. Therefore, discussion about methods to slow down traffic on SR 9/Main Street were somewhat premature until that information was received and able to be analyzed.

- b] Parking reconfiguration was being studied and there was some initial discussion about the consideration of double-stacked diagonal parking in the middle of the parking areas, with parallel parking along the curbs. The CT reported that it appeared to be minimal impact to the overall parking count, but that further work with a precise layout in CAD would be undertaken to confirm.

- c] The CT reported that the “Culture and Heritage” ideas were well received. There was further discussion about the Hope Awning. The committee asked if they would be owned by the town or by the property owners. It was generally agreed that it was more appropriate for the property owners to own them.

- d] Renovating the shelterhouse roof and adding Hope star lights were well received as were providing flowering trees behind the bandstand.

4 Design Guidelines and Source of Historic Preservation Funding

- a] Louis Joyner presented initial thoughts on design guidelines for historic buildings around the square and potential sources of funding.



5 April 27 Public Workshop discussion

- a] A flyer and press release for the public workshop were distributed. JT reported that he would make sure the public workshop was advertised.

Next Meetings:

Public Workshop:
 April 27, 6 PM, Hope Moravian Church fellowship hall
 Working Group: May 18, 6 PM

attachments

Sign-In Sheet

delivery

Email

reply/contact

Meg Storrow, storrow@storrowkinsella.com

John Kinsella, storrow@storrowkinsella.com

Main Street Meeting
4/20 Sign In Sheet

| Name | Email |
|---|--------------------------------|
| Jessica Brown | jbrown@deckard-tool.com |
| GREG SWEET | drmgsweet@sbcglobal.net |
|  | STF925@SBCGLOBAL.NET |
| Trena Carter | tcarter1@Racities.org |
| Diane Jekel | DSofhope@gmail.com |
| Barb Johnson | hope.simmons@school.com |
| Diane Burton | clerk.treasurer@townofhope.com |
| MICHAEL DEAN | mdeans@aol.com |

Meg & John, Lewis



| | | | |
|---------------|--|-------------|---|
| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\PM_170427_FINAL.docx | | |
| Meeting Date: | April 27, 2017 | Issue Date: | May 15, 2017 (revised to landscape format for report) |
| Location: | Moravian Church fellowship hall | Time: | 6 PM – 8:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Public Workshop 4/27/2017 | | |

About 30 people attended the workshop. A slide show was presented to provide an overview of the changes made to the earlier recommendations in response to the comments and preferences received at the March workshop. Large boards were laid out so people could gather around and discuss the revisions and examine the drawings at their own pace.

In response to the comment at the first workshop, *“We don’t need to change anything. We love Hope the way it is now.”* – the consultants presented a slide that said:

- 1 Heard “do nothing”, we love it the way it is.
- 2 But, also heard there are needs to keep the town vital and growing. From our conversations:

STRENGTHS

- 1 Historic Character
- 2 Compact/Walkable
- 3 Town Park – “awesome living room”
- 4 Setting and infrastructure for events/festivals
- 5 Strong heritage

WEAKNESSES

- 1 Town infrastructure appears worn
- 2 Existing benches and street furnishings need replacement
- 3 Fast traffic – passers-by don’t stop to investigate Hope’s assets
- 4 Lack of trees – excessive pavement

New Activation Ideas

New ideas were presented in response to the earlier Public Workshop:

A country road destination on a national bike route

A new map had been generated that showed the recent designation of a route through Bartholomew County as a component of the United States Bicycle Route System as an opportunity to strengthen visitation to Hope.

Tree shaded neighborhood streets leading to Town Square parking/events courts

Historically, tree-shaded residential streets led into the commercial area centered on the Town Square. Over time a substantial loss of tree canopy leading into and within downtown has occurred. Design refinement in the Town Square Renewal Recommendations map showed opportunities to replace the lost urban canopy.

Refined Culture and Heritage furnishing palette

New furnishing selections were shown that aligned more closely with the preferences indicated at the first meeting.

Improve Streets and Parking

An illustrative CAD drawing of the plan elements illustrated a new parking layout and SR 9/Main Street configuration that addressed the earlier concerns.

Bike Lanes and Walkability for SR 9

A concept sketch was presented that showed a reconfigured SR 9 that accommodated the US BR 35 and HBR bike routes. The sketch

SKA Meeting Notes 5/18/2017
Working Group Meeting | Hope Downtown Revitalization Plan

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 SKA Project No. 1612

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| SKA file | X:\1612_HopeDowntownPlan\1612a_DowntownPlan\2Work\04PubEngage\WG_170420_1612_final.docx | | |
| Meeting Date: | May 18, 2017 | Issue Date: | July 24, 2017 (revised to landscape format for report) |
| Location: | Town Hall | Time: | 6 PM – 7:30 PM |
| Prepared By: | Meg Storrow and John Kinsella Storrow Kinsella Associates | | |
| Attendees: | See attached sign-in sheet | | |
| Subject: | Working Group Meeting | | |

1 Introductions

- a] Consultant Team (CT) members Meg Storrow, John Kinsella and Louis Joyner.
- b] Working Group (WG) members Susan Thayer Fye, Dr. Greg Sweet, Jessica Brown, Michael Dean, Barb Johnson, Diane Jekel, Trena Carter, JT Doane, and Diane Burton.

2 Building Tours and Potential Investor Meetings

- a] Susan reported that building tours and discussions with property owners and potential investors were held earlier, starting at noon. Meetings were held with:
 - 12 PM – Community Center, Jeff Yarnell and Chelsea Kendall
 - 1 PM – Ken Patton
 - 2 PM – Volunteer Fired Department representatives
 - 3 PM – Janice Whittington
 - 4 PM – Yellow Trail Museum
- b] She reminded the committee that all discussions regarding potential real estate investment were confidential and that the CT could incorporate generalized information into their recommendations, but not any specifics from the conversations. No meeting notes from those meetings will be issued.

3 Review April Public Workshop Outcomes

- a] The CT reported that the public workshop outcome seemed positive.

- b] Dr. Sweet reinforced that by stating how pleased he was with the revised ideas for SR 9 and that the sketch prepared by John Kinsella was beautiful.
- c] It was mentioned that *The Republic* newspaper had published an article about the workshop outcomes.

4 Design Guidelines and Source of Historic Preservation Funding

- a] Louis Joyner presented initial thoughts on design guidelines for historic buildings around the square and potential sources of funding.
- b] He also explained the benefit of considering a Historic Resource zoning overlay zoning district and/or the use of incentives to encourage façade renovations. There was discussion that EDIT funds could be used to support façade renovations and/or the use of the Hope Awning. Diane said that the Town rarely used all their EDIT funding.

5 Report Completion – Next Steps

- a] A detailed schedule for completing the report was discussed (see attachment).
- b] OCRA requires submission of the report before August 31. The committee desires to submit the report before August 1 if possible. To meet that date would require a revised meeting time for the Main Street committee. The committee agreed to change their July meeting to July 13 to vote on forwarding to the draft report to the Town Council.



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SKA Meeting Notes 5/18/2017
Working Group Meeting | Hope Downtown Revitlaization Plan

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SKA Project No. 1612

- c] Meg handed out a list of the committee and plan participants and asked that it be checked for completeness and spelling.

Next Meeting:
Working Group: June 13, 6 PM

attachments Sign-In Sheet

delivery Email

reply/contact Meg Storrow, storrow@storrowkinsella.com
John Kinsella, storrow@storrowkinsella.com

**WORKING GROUP SIGN IN
TOWN OF HOPE DOWNTOWN REVITALIZATION PLAN**

| 5/18/2017 | Town of Hope | | | | | | |
|-----------|-------------------------|------------|-------------------------------|--------------------------------------|-------------------------------|----------------|-------------------------------|
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Jerry | Brag | At-Large | Town Council | ibragg@townofhope.com | | |
| | Clyde | Compton | President | Town Council | ccompton@townofhope.com | | |
| | Ohmer | Miller | Ward 3 | Town Council | omiller@townofhope.com | | |
| | Greg | Sims | Ward 2 | Town Council | gsims@townofhope.com | | |
| | Jonathan | Titus | Vice-President | Town Council | titus@townofhope.com | | |
| | Diane | Burton | Clerk-Treasurer | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Town Manager | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Main Street Hope | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Michael | Dean | | Main Street Hope | the5deans@aol.com | (812) 371-0472 | |
| | Susan | Thayer Fye | Excutive Director | Main Street Hope | stf925@sbcglobal.net | | 812-343-3798 |
| | Vicki | Gardner | | Main Street Hope | vicki.s.gardner@gmail.com | (812) 343-0546 | |
| | Barb | Johnson | | Main Street Hope | johnsenbarb@yahoo.com | (812) 546-4877 | hopessimmons school@gmail.com |
| | Pete | Law | Treasurer | Main Street Hope | plaw teach@hotmail.com | (812) 546-4877 | 812-371-7969 |
| | Ashley | Norman | Vice-President | Main Street Hope | adnorman1@gmail.com | (812) 546-4770 | |
| | Ken | Patton | | Main Street Hope | ken@pattonhomesinc.com | (812) 447-0064 | |
| DMH | Dr. Greg | Sweet | President | Main Street Hope | drmsweet@sbcglobal.net | (812) 546-2222 | |
| | Tabatha | Tallent | Secretary | Main Street Hope | ttallent@live.com | (812) 390-2406 | |
| | Jessica | Brown | Design Committee | Main Street Hope | jdeckard@deckard-tool.com | (812) 546-5619 | 812 344-4737 cell |
| | Jean Marr | Wilkins | | Main Street Hope | jeanmarr.wilkins@gmail.com | (812) 374-4902 | |
| | Larry | Kleinhenz | Ex Officio | Bartholomew County Commissioner | dlonderee@bartholomew.in.gov | (812) 350-0052 | |
| | Chris | Ogle | Ex Officio | Bartholomew County Council | chriswoogle@yahoo.com | (812) 376-9275 | |
| | Trena | Carter | Ex Officio | Administrative Resources association | tcarter1@aracities.org | (812) 376-9949 | (812) 343-7991 |
| SLR | Diane | Burton | Ex Officio | Town of Hope | clerktreasurer@townofhope.com | | |
| | JT | Doane | Ex Officio | Town of Hope | townmanager@townofhope.com | (812) 546-6403 | |
| | Trina | Newton | Committee Member | Main Street Hope | tnewton@deckard-tool.com | 312-546-5619 | 312-344-5435 |
| | Consultant Team | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| | Louis | Joyner | Architect | Louis Joyner Architect | louis@ljarchitect.com | (812) 376-7088 | |
| | Ellen | Bowman | | Louis Joyner Architect | ellen@ljarchitect.com | (812) 376-7088 | |
| | John | Kinsella | Urban Designer | Storrow Kinsella Associates | kinsella@storrowkinsella.com | 317-639-3420 | |
| | Meg | Storrow | Planner Landscape Architect | Storrow Kinsella Associates | storrow@storrowkinsella.com | 317-639-3420 | |
| | Guests | | | | | | |
| | Fname | Lname | Title | Org | Email | W Ph | C Ph |
| A.M.D. | Andrea | Deutsch | | OCRA | adeutsch@ocra.in.gov | | 317-690-9736 |
| | JANELLE | GERMENTZ | | Main Street Hope | jnellegermentz@yahoo.com | 812-603-3928 | |

SKA Meeting Notes 6/13/2017
Working Group Meeting | Hope Downtown Revitalization Plan

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1 Attending

- a] Consultant Team (CT) members Meg Storrow and John Kinsella.
- b] Working Group (WG) members Susan Thayer Fye, Dr. Greg Sweet, Jessica Brown, Barb Johnson, Trena Carter, Diane Burton, Vickie Tedder, Janelle Gernentz, and JT Doane.

2 Preliminary Report Review

- a] The CT reviewed a preliminary report with the committee and received comments.
- b] The major comments included:
 - 1 “Living Document” – the committee requested the CT emphasize that the report is adaptable, and that the strategies can be incrementally pursued over time.
 - 2 Implementation Strategies: do not show ranking. Indicate they are not prioritized except for time frame.
 - 3 Ensure that there is a date on the preliminary report and indicate it is a “draft”.

- 4 Correct the grant source to: “Community Development Block Grant, Planning Grant”.
- 5 Add removable rails for bandstand in sketch and narrative.
- 6 Add text clarifying the reason the Town Hall is included.

3 Draft Report for Town Council

- a] The Town Council meeting on July 18 is the vote to approve a draft report to be submitted to OCRA. Susan conveyed that she and Trena will present the report to the Town Council. It would be appreciated if the CT could attend to answer questions, but a presentation was not necessary.
- b] After that, the CT will incorporate any final comments from the council meeting and committee into a final draft. Trena will submit the final draft to OCRA on behalf of the Main Street Committee. Goal is to submit on or before August 1 (OCRA due date is August 31).

attachments Sign-In Sheet

delivery Email

reply/contact Meg Storrow, storrow@storrowkinsella.com
 John Kinsella, storrow@storrowkinsella.com

SKA Summary of Focus Group and Individual Topical Meetings
 Hope Downtown Revitalization Plan

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 SKA Project No. 1612

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Prepared By: Meg Storrow and John Kinsella | Storrow Kinsella Associates

Infrastructure Focus Group – 2/16/2017

- a] Attending: David Clouse, JT Doane, Diane Burton, Meg Storrow, John Kinsella
- b] David shared hard copies of the 1992 Town of Hope Downtown Revitalization Project drawings prepared by Commonwealth Engineers, Inc. and a tree care plan by May Nursery and Landscaping for the Town Square.
- c] He discussed past renovations of the shelter and recent investments in the Town Square to support celebrations and events.
- d] Street lights are owned by Duke and the town pays a monthly service charge.
- e] Comments on preliminary ideas: additional trees will require more maintenance; Town Square pathway will provide ADA access to shelter, which is needed, curb bump outs at the corners of Washington and Jackson Streets with Main Street for the stop signs is a good idea.

Events Focus Group – 2/16/2017

- a] Attending: Susan Thayer-Fye, Randy Sims, Chelsea Kendall, Barb Johnson, Susan Dodd, Dave Miller, JT Doane, Meg Storrow and John Kinsella
- b] Diane provided a copy of the 2016 List of Events. Most, if not all, events support charities and not-for-profits and are run by volunteers. Highlights:
 - 1 *Hope Heritage Days* is three days long and 30-50,000 people attend. All streets around the Town Square are closed; SR 9 remains open. There is electric power in the center of Jackson Street for the stage. Needs:

additional electric power on the perimeter streets for booths; public restrooms, and a permanent ATM.

- 2 *Yellow Trail Museum* manages the Pioneer Village for Hope Heritage Days, Christmas of Yesteryear, Night at the Museum, Halloween, Old Fashion Independence Day celebration, Veterans Day lunch and Simmons School (located at the High School).

They are an all-volunteer organization, but may be receiving some paid staffing sponsored by the Columbus Visitor Center.

The Museum used to have a Walking Tour of downtown and key buildings were identified. This was managed by a person that has passed away and a lot of the information he assembled is not accessible, but they are working on finding it.

- 3 *Ghost and Goblins Stories* is targeted at pre-schoolers. Story-tellers share smores around a campfire while relating local legends to the children.
- 4 *Hope Ride* is a bicycle ride in 25, 50, 75, and 100 mile loops. The Town Square shelter is the destination for lunch.
- 5 *The Girlfriend Ride* is also a bicycle ride that supports a cancer charity. It loops through and starts in Hope.
- 6 *The Community Center* manages the Smoke on the Square event. It is a regional competition and attracted 24 cooks last year. Vender's can sell after the competition. They usually sell 2000 sandwiches.

The Community Center is also planning an event called “The Magic Wand”. Comment on preliminary ideas: a banner over SR 9 or a signage/message board about a block from the gas station is needed so passers-by know what events are going on in town.

Building Façade Character and Potential Focus Group – 3/14/2017

- a] Attending: Vickie Tedder, John Robertson, Chuck Baker, Jake Miller, Susan Thayer-Fye, Louis Joyner, Meg Storrow and John Kinsella
- b] The group stated that financial support linked to voluntary design guidelines for facade renewal and renovation would help property owners invest in their buildings.
- c] They agreed that design guidelines would help the townscape achieve some consistency and a visible presence of investment leads to more economic vitality.
- d] Chuck Baker provided extensive history about the Town and its architecture, and related his experience from Winston-Salem, where he was involved in building façade renovations in the historic Moravian district.

Downtown Land Use Focus Group – 3/14/2017

- a] Attending: Mike Deckard, Jessica Brown, Suzie Norman (invited), Janice Whittington, Mark Cornett (invited), Susan Thayer-Fye, Louis Joyner, Meg Storrow and John Kinsella
- b] The group identified the following needs in downtown:
 - 1 a new town hall
 - 2 additional restaurant(s) that are open longer and that serve alcohol
 - 3 a gathering place or venue for high school age children and young adults. Ideas suggested included a bowling alley and/or movie theater.

- c] They identified some buildings that could accommodate upper floor residential, including the Shaton’s/Swiss Maid building and the Masonic Temple.
- d] There was a strong desire for expanded offerings at Swiss Maid or a new grocery store in the large vacant lot on the north side of the square.

Culture and Heritage Focus Group – 3/21/2017

- a] Attending: Deb Slone, Barb Johnson, Michael Dean, Seth Baute, Jessica Brown, Susan Thayer Fye, Meg Storrow and John Kinsella
- b] It was agreed that Hope culture is rooted in Moravian Heritage.
- c] The Yellow Trail (early wayfinding signage system to Hope’s first gas station), and early and continuous rural mail delivery are also important heritage and culture events.
- d] The group stated that the character of Hope’s residents could be described as thrifty, caring, and industrious. Their ideas for representing those values and characteristics into physical improvements included: recommending the use of the traditional Hope awning, use of the Moravian Star (perhaps calling it the Hope Star) as a light fixture, and use of bollards around the edges of the Town Square to represent the early horse hitching posts.
- e] Seth commented that “the more 1915 Hope looks, the more it will set Hope apart”.
- f] Barb also wants to reinstate the walking tours, and perhaps develop a phone app to guide visitors.
- g] Barb also wanted to communicate Hope’s agrarian culture and reminded the group that the town used to have large chicken farms, a dairy farm and that Ralph Hillman and Marshall Vogler were the corn kings in the 1920’s.

SKA Summary of Focus Group and Individual Topical Meetings
Hope Downtown Revitalization Plan

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- h] Michael suggested that Hope has a “small” farm scale and perhaps Hope should promote agri-tourism. Some people pay to be guest workers on farms for the experience.
- i] Deb suggested that the design of the physical improvements capitalize on the name “Hope” and be visually appealing.

Transportation Focus Group – 3/30/2017

- a] Attending: Jim Ude|INDOT, Abby Manthsch|INDOT, Laura Thayer|CAMPO, Susan Thayer Fye, Trena Carter
- b] After a discussion about the conceptual ideas for treatment of SR 9/Main Street, INDOT agreed to provide detailed intersection traffic counts, including turning movements across a specific time range for both the Jackson and Washington Street intersections.
- c] The MPO gave an overview of their funding process. Laura indicated she needed to research how Hope could submit projects for funding consideration since Hope is a separate jurisdiction.

Funding Options Focus Group – 4/13/2017

- a] Attending: Trena Carter, Susan Thayer Fye, JT Doane, Diane Burton, Meg Storrow and John Kinsella
- b] Suggest that the projects be presented as:
 - 1 Free or private – early winds, low cost
 - 2 Town Square – OCRA Grant
 - 3- MPO /INDOT _transportation funds for SR 9/ Main Street project
 - 4 Private Investment Incentives
 - 5 Federal Historic Tax Credits
- c] Trena handed out a chart showing available OCRA grants and there was discussion about how they might apply to the various projects.

- d] Meg and John introduced the idea of a “maker space” or business incubator/training program. There was discussion about how that could be a joint program with local schools and the Tri-County Artisans.
- e] Potential funding for a Downtown Walking Tour: the Indiana Office of Tourism & Development – a “Destination Grant”. It was discussed that a variety of walking tours could be developed based on several themes, and should be updated on a regular basis to keep them current and relevant. It was also noted that some of the streets and sidewalks in the historic district are in need of repair to make them walkable.
- f] There is limited funding available from the local community foundation: the Heritage Fund.
- g] Farmer’s Market and Tours – eligible for USDA Rural Development Funding.

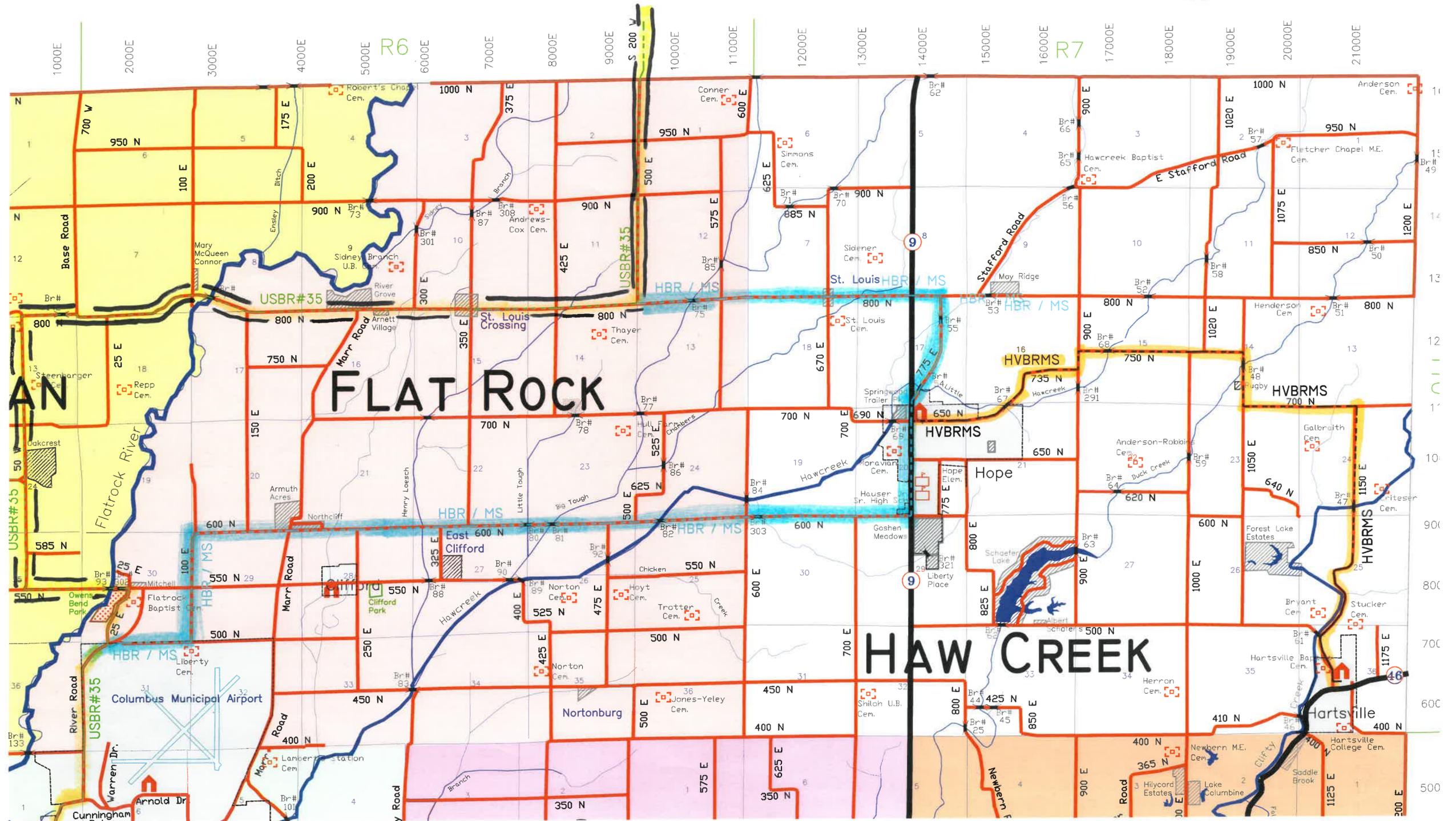
New Town Hall Building Focus Group – 4/13/2017

- a] Attending: Susan Thayer Fye, Clyde Compton, JT Doane, Diane Burton
- b] It was agreed that the Town Hall design guidelines developed under a separate agreement should be included in the Downtown Revitalization Report. It was understood that even though the project was currently not funded, inclusion would leverage this potential investment towards the objectives of the plan.

Hope Heritage Days – 5/8/2017

- a] Attending: Susan Thayer Fye, Randy Sims, Meg Storrow and John Kinsella
- b] Large scale plots of the proposed plan were reviewed. Randy provided two sketch plans:

- 1 Hope Heritage Days booth and event layout plan
 - 2 2014 Town Square improvement plan
- c] Randy thought the proposed SR 9/Main Street interventions would work with the parade route and event layout. He liked the idea of the circular corner plazas for the town square as they would facilitate crowd control.
- d] He suggested that tractor trailer trucks may need to enter the new parking area created by the landscape median along Main Street, and that the turning radius be adjusted to accommodate that size vehicle. The final plan was so adjusted.
- e He stated that a force main had been installed from the shelterhouse under Harrison Street to facilitate a future restroom addition. It would still need hookup and extension to the main sewer line.



Proposed Regional Bike Map
5/20/2017
From Randy Sims



Town Square Plan

2014 Town Square Improvements
 Received 4/25/2017
 From Randy Sims



Hope Heritage Days Event and Parade Layout
Received 4/25/2017
From Randy Sims

SR 9 pedestrian and vehicular safety interventions

Issue: SR 9 traffic volume is 3753 AADT vehicles north of Jackson Street and 5660 AADT vehicles south of Washington Street. The count is not particularly high but the 1000 vehicle differential indicates a substantial number of vehicles turn into or out of Town Square vicinity streets from or into the continuous SR 9 traffic stream. Pedestrians crossing SR 9 to access businesses on the west side of the street are likewise put in jeopardy by the lack of protected crossings.

1. Through traffic speed is currently regulated by 30 mph signage and local enforcement.
2. The widened roadway (eighty feet curb to curb) along the town square/business district frontage encourages higher speeds there.
3. Buildings along the SR 9 right-of way edge at Jackson Street block sight lines for vehicles entering the southbound SR 9 traffic stream.
4. The combination of higher speeds, uninterrupted traffic flow, multiple turning movement conflicts, and the widened roadway create both safety and convenience issues for local traffic and for pedestrians crossing SR 9/Main Street between east side parking and west side businesses.

Safety Countermeasures: Consider feasible interventions for vehicular and pedestrian safety in the SR 9/Town Square vicinity. Work with the INDOT Seymour District, the County Engineer and the Columbus Region MPO to consider the following safety interventions for SR 9 between Jackson Street and Washington Streets at the Downtown Hope Town Square, based on the following observations:

1. Current and projected traffic counts are likely too low to warrant traffic signals but are high enough to introduce all-way stops at the two key intersections (Jackson & Washington Streets) for greater safety for both turning traffic and pedestrian crossings. A precedent for this low cost and effective intervention occurs at the all-way stop at SR 9 and McKay Road in Shelbyville which has similar SR 9 through-traffic counts. The stop signs serve to condition driver behavior in transitioning from rural high speeds to speeds more appropriate to built-up areas, while also providing negotiable turning and crossing movements.
2. The 80' pavement width can be reduced by introduction of several inter-related elements to effect a traffic-calmed zone in the Downtown district, including a landscape median that separates current 90 degree parking movements from through traffic, mitigates the tendency to increase speed through a widened roadway section, and offers pedestrian's a refuge and shorter crossing path of the remainder travel lanes.

The following countermeasures can be accommodated in the available cross section as follows:

- A wider parking lane adjacent to west side businesses.
- Consideration of double stripe-buffered bicycle lanes for that mode and for a shareable reserve for commercial deliveries and for occasional large farm implement transport.
- Two full 12' travel lanes.
- A two-foot curb offset along the SR 9 northbound travel lane.
- A landscape buffer median between the northbound lane and the parking along the west side of the town square.
- Those lane improvements comply with INDOT standards for two-lane urban arterials, and are achieved by changing the existing 90 degree parking to parallel parking with a one-way buffered access lane.
- The current two-lane capacity of up to 15000 vehicles per day easily accommodates the current 5660 vehicles per day, making consideration of future added lanes unnecessary as well as inadvisable.
- Likewise turning lanes are not recommended at all-way stops given the relatively low volumes, and because they introduce additional hazard for pedestrians.
- Pedestrian safety is further enhanced by introduction of curb extensions (bump-outs) that bracket the parking lanes to further shorten pedestrian crossing distance and time, which also improves traffic throughput at the crosswalks.

Local Control Options

Proposals to seek local control of SR 9 (and relinquishment payment) would likely not meet criteria for a required SR 9 bypass route which would be uneconomic given the low traffic volumes and the fact that a significant portion of that volume is locally generated.

Funding Opportunities

If traffic data supports and INDOT concurs with the above assumptions and recommendations, the Town could consider requesting INDOT to incorporate proposed SR 9 improvements into future SR 9 safety improvement plans and future state and/or federal funding.

Streetscape Amenity

SR 9 does contribute to downtown Hope's visibility to motorists and hence to its economic viability. Current and possibly future transportation programs allow inclusion of some of the amenities proposed by the Hope Downtown Revitalization Plan, though would likely require a local match.



Town of Hope

March 24, 2017

VIA US MAIL AND EMAIL

Jim Ude
Indiana Department of Transportation - Seymour District
185 Agrico Lane
Seymour, IN 47274

Re: **Town of Hope**

Dear Mr. Ude,

We have a meeting with you and the Columbus MPO, Laura Thayer on March 30 at 11 AM at the Hope Town Hall to discuss options to improve safety and walkability in downtown Hope, specifically the SR 9 frontage along the Town Park.

We are writing to request INDOT's consideration of providing traffic counts, including turning movement, direction, and speed for peak periods at the intersection of SR 9 with both Jackson and Washington Streets. This will enable us to understand traffic patterns at the Town Square as we advance the traffic management component of the Town of Hope's Downtown Revitalization Plan.

If camera documentation is available, it would provide important information regarding driver behavior at the intersections as well.

Please copy our consultant, Storrow Kinsella Associates with the results. Our contact information follows:

JT Doane, Town Manager
Town of Hope
404 Jackson Street
Hope, IN 47246
812-546-6403
townmanager@townofhope.com

Meg Storrow / John Kinsella
Storrow Kinsella Associates
303 N Alabama Street, #240
Indianapolis, IN 46204
317-639-3420
storrow@storrowkinsella.com
kinsella@storrowkinsella.com

We realize that you must consider this request and schedule it as you have availability. It would be greatly appreciated, if you could let us know an approximate time frame for the information requested at our meeting on March 30th.

Sincerely,

JT Doane, Town Manager
Town of Hope

Town of Hope

May 19, 2017

Town of Hope
404 Jackson Street
Hope, IN 47246



VIA US MAIL AND EMAIL

Mr. Jim Ude
Indiana Department of Transportation-Seymour District
185 Agrico Lane
Seymour, IN 47274

Re: Request for additional SR9 traffic data (Town of Hope)

Dear Mr. Ude:

Thank you for undertaking the requested data collection for the SR9/Jackson Street intersection in Hope. Our planning consultant is currently reviewing the results.

While the data is very helpful, anecdotal evidence from community members indicates that many local motorists entering SR9 from the east divert from EB Jackson Street to the Washington Street intersection out of safety concerns about the SR9/Jackson Street intersection.

We therefore request that INDOT collect a dataset for Washington Street similar to that recently provided for Jackson Street, such that we can fully understand how the Jackson Street/Washington Street intersections work as a system and to develop recommendations for an optimal safety intervention strategy for the SR9 interface with Downtown Hope.

Please provide the additional data to the following:

JT Doane, Town Manager
Town of Hope
404 Jackson Street
Hope, IN 47246
812-546-6403
townmanager@townofhope.com

Meg Storrow / John Kinsella
Storrow Kinsella Associates
303 N Alabama Street, #240
Indianapolis, IN 46204
317-639-3420
storrow@storrowkinsella.com
kinsella@storrowkinsella.com

Sincerely,

JT Doane, Town Manager
Town of Hope

cc: Storrow Kinsella Associates [storrow@storrowkinsella.com & kinsella@storrowkinsella.com]
Laura Thayer, Columbus MPO [lthayer@columbus.in.gov]
Susan Thayer Fye, Executive Director, Main Street of Hope [st925@sbcglobal.net]
Trena Carter, Administrative Resources association [tcarter1@aracities.org]

Town of Hope



Disclaimer: The data is provided pursuant to the Indiana Open Records Act. It represents accurate reproductions of the records on file with the Indiana Department of Transportation; however, ... more

List View All DIRs

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| | | | |
|----------------|--------------------------|-------------|------------|
| Location ID | 030333 | MPO ID | |
| Type | SPOT | HPMS ID | |
| On NHS | No | On HPMS | No |
| LRs ID | 903000000900000001 | LRs Loc Pt. | 5.3204301 |
| SF Group | R2_SWGA | Route Type | State Road |
| AF Group | R2_SWGA | Route | 09 |
| GF Group | R2_SWGA | | |
| Class Dist Grp | | | |
| WIM Group | | | |
| QC Group | JUR9SHORT | | |
| Funct'l Class | Minor Arterial | Milepost | |
| Located On | SR 9 100 FT N OF MILL ST | | |
| Loc On Alias | SR 9 | | |
| | PR | MP | PT |
| 0 | | | |

More Detail

STATION DATA

Directions: 2-WAY NEG POS 1 1

| AADT | Year | AADT | DHV-30 | K % | D % | PA | BC | Src |
|------|------|--------------------|--------|-----|-----|----|----|-----------------|
| | 2016 | 5,202 | 526 | 10 | 54 | | | |
| | 2015 | 5,565 ³ | | 11 | 53 | | | Grown from 2014 |
| | 2014 | 5,461 | 588 | 11 | 53 | | | Grown from 2012 |
| | 2013 | 5,522 ³ | | | | | | Grown from 2011 |
| | 2012 | 5,351 ³ | | | | | | |

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Travel Demand Model

| Model Year | Model AADT | AM PHV | AM PPV | MD PHV | MD PPV | PM PHV | PM PPV | NT PHV | NT PPV |
|------------|------------|--------|--------|--------|--------|--------|--------|--------|--------|
|------------|------------|--------|--------|--------|--------|--------|--------|--------|--------|

VOLUME TREND

| Year | Annual Growth |
|------|---------------|
| 2016 | -7% |
| 2015 | 2% |
| 2014 | -1% |
| 2013 | 3% |
| 2012 | 1% |

VOLUME COUNT

| Date | Int | Total |
|----------------|-----|-------|
| Wed 11/30/2016 | 60 | 5,954 |
| Tue 11/29/2016 | 60 | 5,834 |
| Tue 12/9/2014 | 60 | 6,121 |
| Mon 12/8/2014 | 60 | 5,947 |
| Wed 12/7/2011 | 60 | 5,240 |
| Tue 12/6/2011 | 60 | 5,330 |

SR 9 Traffic Data

Note that specific data regarding the Jackson Street intersection turning movements has been provided to the Town. The Town has requested similar data for the Washington Street intersection.

SKA